



WAIMAKARIRI
DISTRICT COUNCIL

AS BUILT TRUSS LAYOUT REQUIRED –

This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to the
Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:
buildinginfo@wmk.govt.nz

BC No: 201209

SITE DETAILS:

4 GOLDIE DRIVE

RANGIORA

LEGAL:

LOT 14 DP 553457

APPROVED BUILDING CONSENT DOCUMENTS AND PLANS
(FULL SET SUPPLIED)

- ON SITE COPY -

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

INSPECTIONS

for bookings or building enquiries

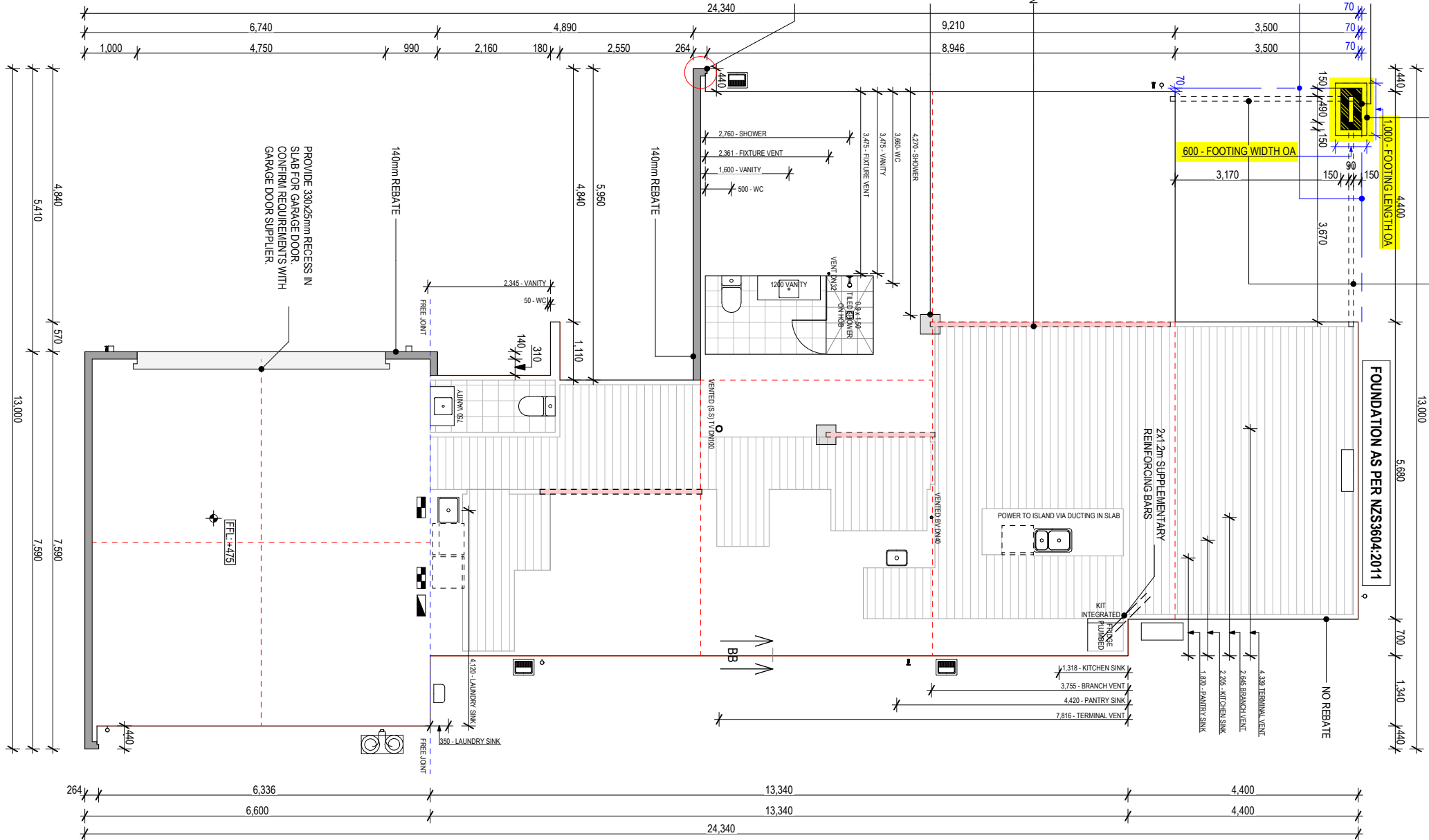
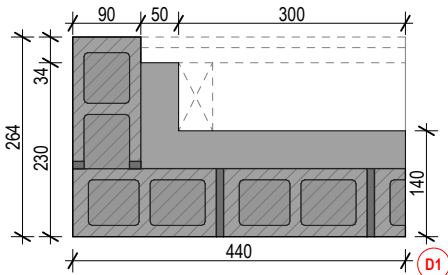
please phone the BUILDING UNIT on:

03 3118906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- 2-3 working day's notice should be given and provision made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed
 - Audit of WDC building consent file has been completed
 - Payment of any outstanding invoices is received



WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo

FOUNDATION INFORMATION

MAIN CONTRACTOR	:	CONFIRM ALL BOUNDARY SETBACKS & RESTRICTIONS COMPLY WITH CURRENT REGULATIONS PRIOR TO COMMENCEMENT OF FOUNDATIONS CONFIRM POSITIONS OF AVAILABLE SERVICES, CABLING ETC. ON SITE PRIOR TO ANY EXCAVATION, CONFIRM LAYOUT OF KITCHEN & BATHROOM FITTINGS WITH OWNER BEFORE COMMENCING
CLEARANCES	:	FFL TO BE 150mm MIN ABOVE CROWN OF ROAD AS PER NZBC E1/AS1 MINIMUM FFL ABOVE SURROUNDING GROUND TO BE 225mm TO UNSEALED GROUND, 150mm TO SEALED GROUND
PREPARATION	:	ALL TOPSOIL SHOULD BE REMOVED FROM BENEATH THE AREA OF THE FLOOR SLAB & CAP40 HARDFILL SHOULD BE PLACED IN LAYERS NOT EXCEEDING 150mm LOOSE DEPTH & COMPACTED TO ACHIEVE A MINIMUM DRY DENSITY OF 2,150kg/m³
TRUSS DESIGN	:	REFER TO TRUSS DESIGN FOR SLAB THICKENING & LOAD BEARING WALLS
EARTHING	:	MESH IN FLOOR SLAB MUST BE EARTHED, EARTH WITH 16mm REO ROD BROUGHT UP INTO GARAGE WALL BELOW METERBOX & WIRED TO MESH. AT PREWIRE, CONNECT A CLAMP & PIECE OF WIRE TO ROD & EARTH TO METERBOX.

INSTALLATION NOTES

FOUNDATION	:	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION. FOUNDATION, REFER TO DETAILS FOR MORE INFO/ALL FOUNDATION FOOTING SIZES.
FOOTING (GENERAL)	:	200mm/260mm WIDE CONCRETE FOUNDATION FOOTING (20MPa MIN) REINFORCED WITH 2/D16 BARS & D10 STARTERS @ 600mm CRS MAX EXTENDING 400mm MIN INTO SLAB, REFER TO DETAILS FOR FURTHER INFO.
SLAB	:	100mm THICK CONCRETE SLAB (20MPa MIN), REINFORCED WITH GRADE 500E MESH WITH 30mm COVER MIN ON 0.25mm POLYTHENE DPM, 25mm MAX SAND BLINDING LAYER & 150mm MAX LAYER COMPACTED AP40 GRANULAR FILL
REBATE	:	2x COATS OF BITUMINOUS LIQUID TO BRICK REBATE
CORNER REINFORCING	:	MESH SUPPLEMENTARY REINFORCING (2/D12 1200mm LONG) TO INTERNAL CORNERS WHERE SHRINKAGE CONTROLS DO NOT MEET THE INTERNAL CORNER

INSTALLATION NOTES

SHRINKAGE CONTROL	:	1/4 DEEP SAW CUT INTO CONCRETE SLAB @ 6m CRS MAX @ 1:2 RATIO MAX. SHRINKAGE CONTROL JOINTS MAY BE CUT AT AN ANGLE NOT LESS THAN 60°, IN ACCORDANCE WITH NZS 3604:2011 7.5.8.6.1 AVOID CONSTRUCTION JOINTS & SHRINKAGE CONTROLS UNDER TILED AREAS & FRAMING THAT IS TO BE USED AS A BRACING ELEMENT
PLUMBING	:	TYPICAL 140mm OFFSET FROM WALL TO CENTRE OF WC WASTE RISER (CONSULT MANUFACTURER'S TECHNICAL SPEC TO CONFIRM) TYPICAL 45mm OFFSET TO CENTRE LINE OF WALL TO CENTRE OF VANITY & TUB WASTE RISERS

COLUMN FOOTING CALCULATIONS TO RESIST UPLIFT AS PER NZS 3604:2011 TABLE 9.1

WINDZONE	:	HIGH
SUPPORTED ROOF AREA	:	6m² = 0.30m³ FOOTING REQUIRED
SIZE	:	1000mm WIDE x 600mm LONG x 500mm DEEP

Application BC201209
 Received 12/01/2021

VIP DESIGN
 ARCHITECTURAL DESIGNERS

PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	



STRUCTURAL REVIEW
 Shelf Angles
 09.12.20

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

 29 PENTECOST ROAD
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

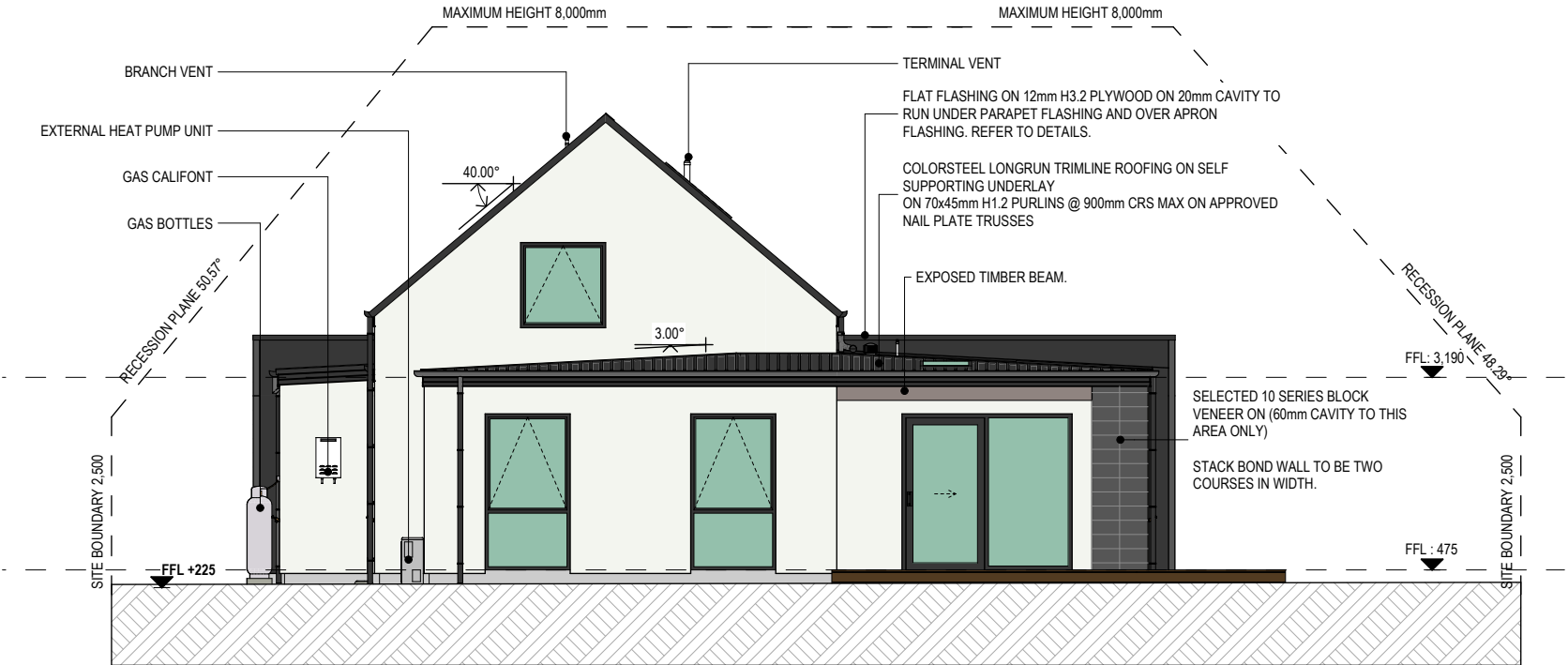
STAGE: CONSENT ISSUE	VERSION: 1.2A
DATE: 13.10.2020	SCALE: 1:100, 1:10

A1.02
 FOUNDATION PLAN

PROPOSED BUILDING R VALUES

ROOF	:	COLORSTEEL TRIMLINE ON 70x45mm H1.2 PURLINS @ 900mm CRS ON SELF-SUPPORTING ROOF UNDERLAY OVER PRE-FABRICATED TRUSSES @ 900mm CRS WITH R3.6 INSULATION
CONSTRUCTION R VALUE	:	3.23
WALLS	:	90 SERIES BLOCK VENEER ON 20mm CAVITY, 90x45 H1.2 SG8 FRAMING @ 400mm CRS, DWANGS @ 400mm CRS, 10mm STANDARD PLASTERBOARD WITH R2.6 INSULATION
CONSTRUCTION R VALUE	:	2.27
	:	50mm SPECIALIZED AAC PANEL ON 20mm CAVITY, 90x45 H1.2 SG8 FRAMING @ 600mm CRS, DWANGS @ 800mm CRS, 10mm STANDARD PLASTERBOARD WITH R2.6 INSULATION
CONSTRUCTION R VALUE	:	2.80
FLOOR	:	FLOOR SLAB ON GRADE (NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.)
CONSTRUCTION R VALUE	:	1.37
EXTERIOR JOURNERY	:	DOUBLE GLAZING (TOTAL GLAZING <30%)
CONSTRUCTION R VALUE	:	0.26

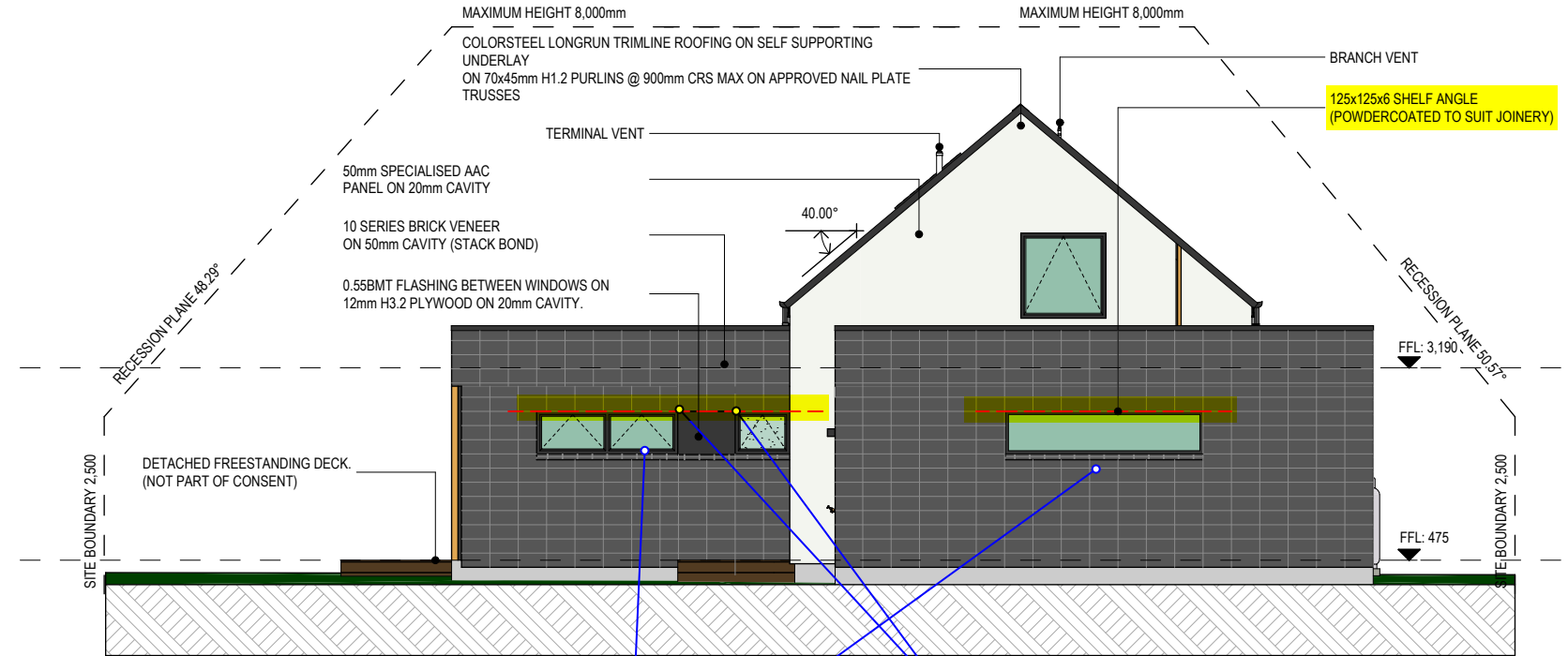
BUILDING ENVELOPE RISK MATRIX		
NORTH ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Medium risk	1
Roof/wall intersection design	High risk	3
Eaves width	Very high risk	5
Envelope complexity	High risk	3
Deck design	Low risk	0
Total Risk Score:		13



DRAWING : NORTH ELEVATION

1:100

BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Medium risk	1
Roof/wall intersection design	High risk	3
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		11



DRAWING : SOUTH ELEVATION

1:100

Provide lattice mesh in course immediately above and below openings

Ensure angle is coach screwed to studs at boundary of windows

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo

Application BC201209
 Received 12/01/2020

PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

Tetrad.
 Quality by Design

STRUCTURAL REVIEW
 Shelf Angles
 11.12.20

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

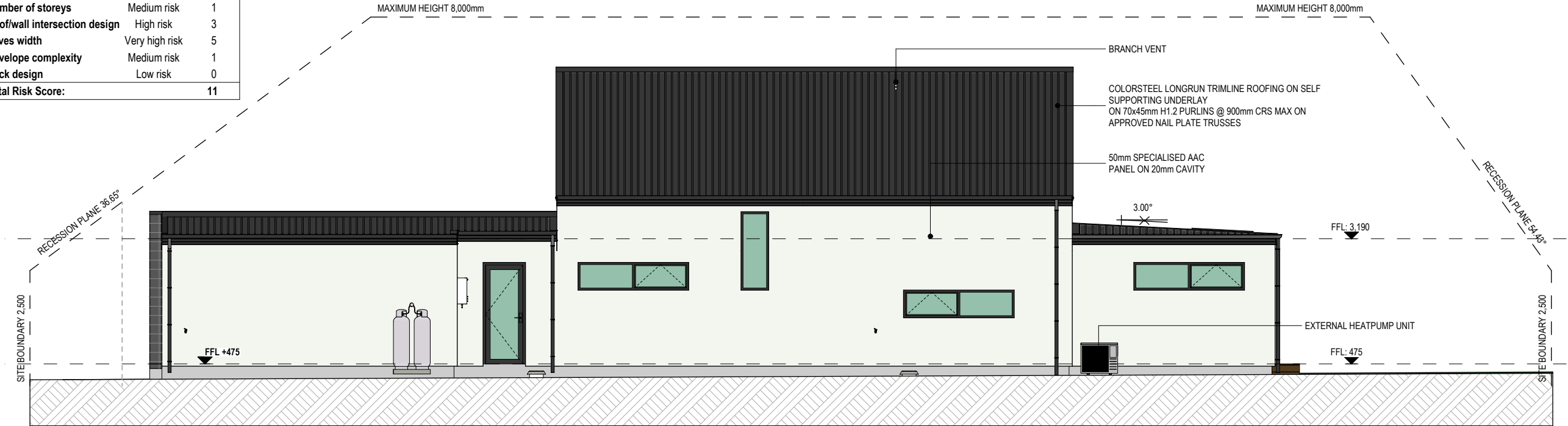
ADDRESS:
 LOT: 14 DP: 553457
 29 PENTECOST ROAD
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2A
DATE: 13.10.2020	SCALE: 1:100

A3.01
 ELEVATIONS

BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Medium risk	1
Roof/wall intersection design	High risk	3
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		11

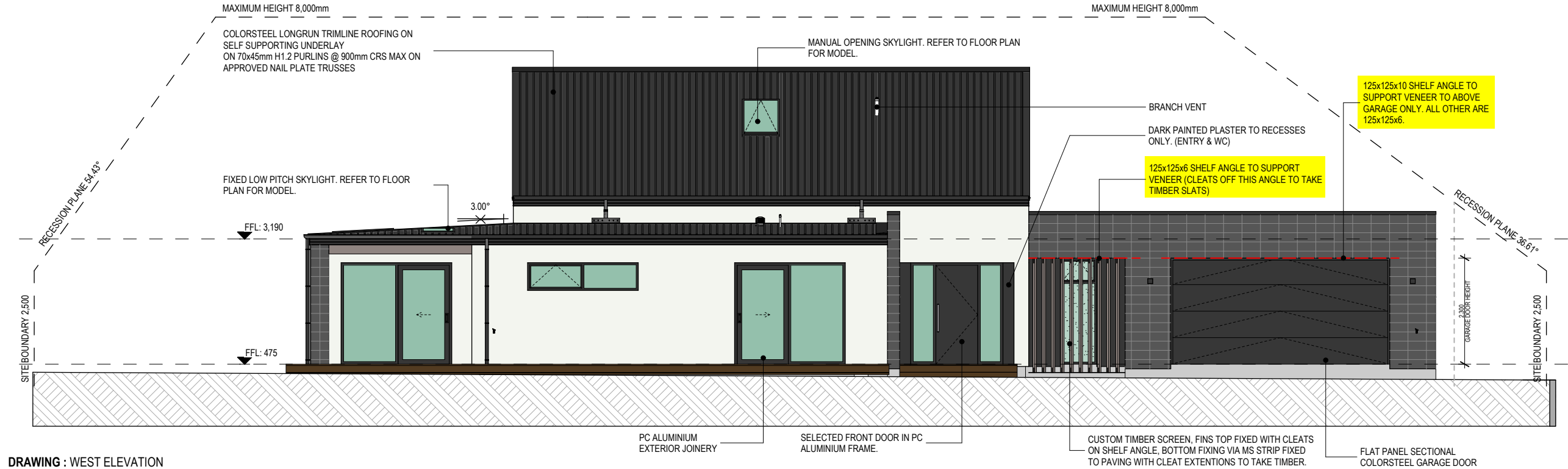


DRAWING : EAST ELEVATION

1:100

BUILDING ENVELOPE RISK MATRIX		
WEST ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Medium risk	1
Roof/wall intersection design	High risk	3
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		11

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



DRAWING : WEST ELEVATION

1:100

Application BC201209

12/01/2021 12/2020



VIP DESIGN

ARCHITECTURAL DESIGNERS

PHONE:

027 313 0880

EMAIL:

admin@vipdesign.co.nz

ADDRESS:

PO Box 19765, Woolston, Christchurch 8062

WEB:

www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



Tetrad.

Quality by Design

STRUCTURAL REVIEW
 Shelf Angles
 09.12.20

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457
 29 PENTECOST ROAD
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE:	VERSION:
CONSENT ISSUE	1.2A
DATE:	SCALE:
13.10.2020	1:100

A3.02
 ELEVATIONS



CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
SCALE OFF DRAWINGS.

REFER TO "NEW ZEALAND CONCRETE MASONRY
MANUAL 5.5 VENEER - STACK BOND" LOCATED IN
SUPPORTING DOCS.



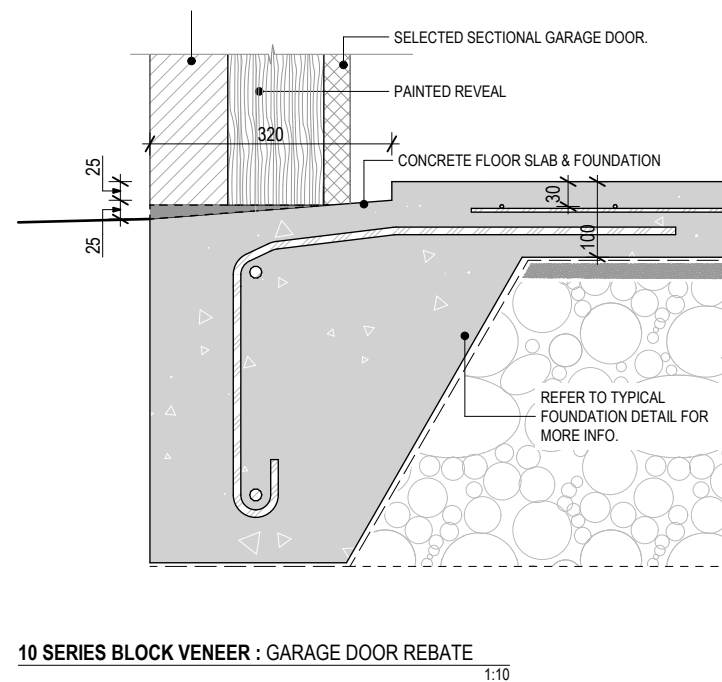
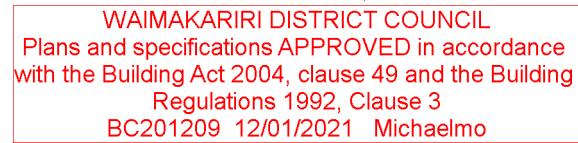
JOB # D0088

29 PENTECOST ROAD
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

A5.04

DETAILS : CLADDING (10 SERIES)



WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo

Application BC201209

12/01/2021



VIP DESIGN

ARCHITECTURAL DESIGNERS

PHONE:

027 313 0880

EMAIL:

admin@vipdesign.co.nz

ADDRESS:

PO Box 19765, Woolston, Christchurch 8062

WEB:

www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



STRUCUTURAL REVIEW

Stack Bond Veneer

11.12.20

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

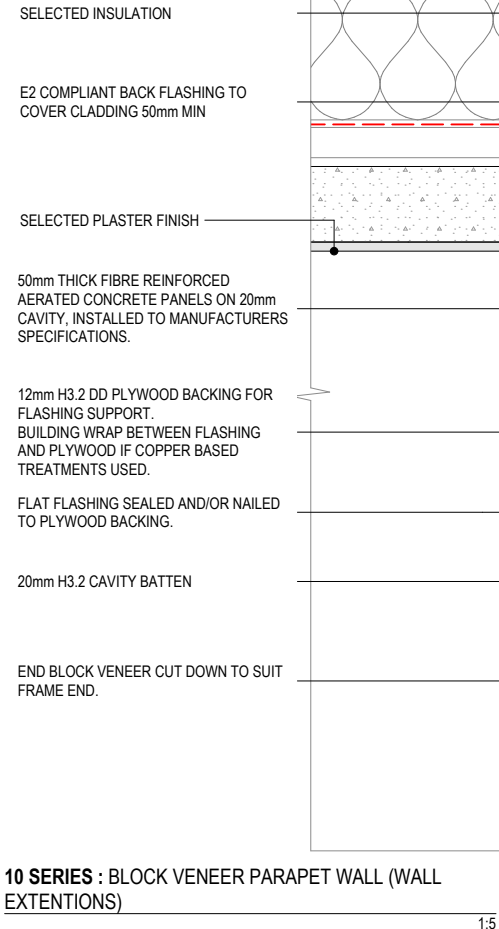
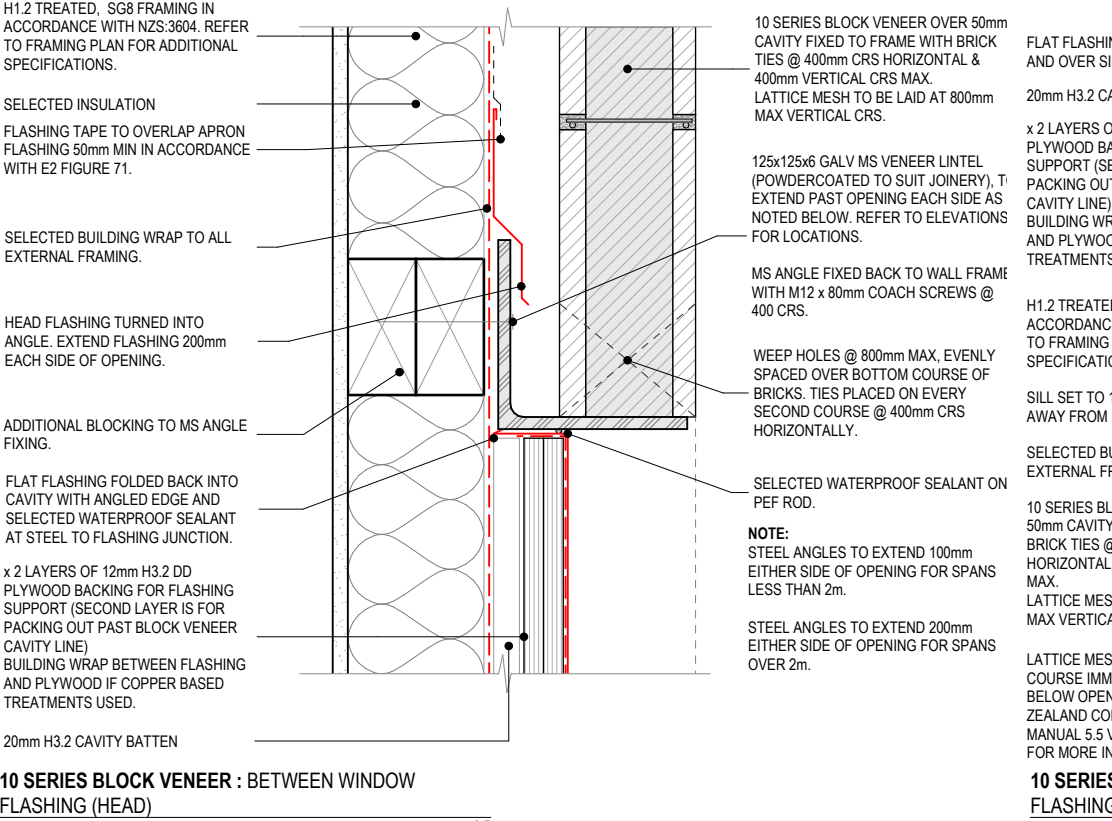
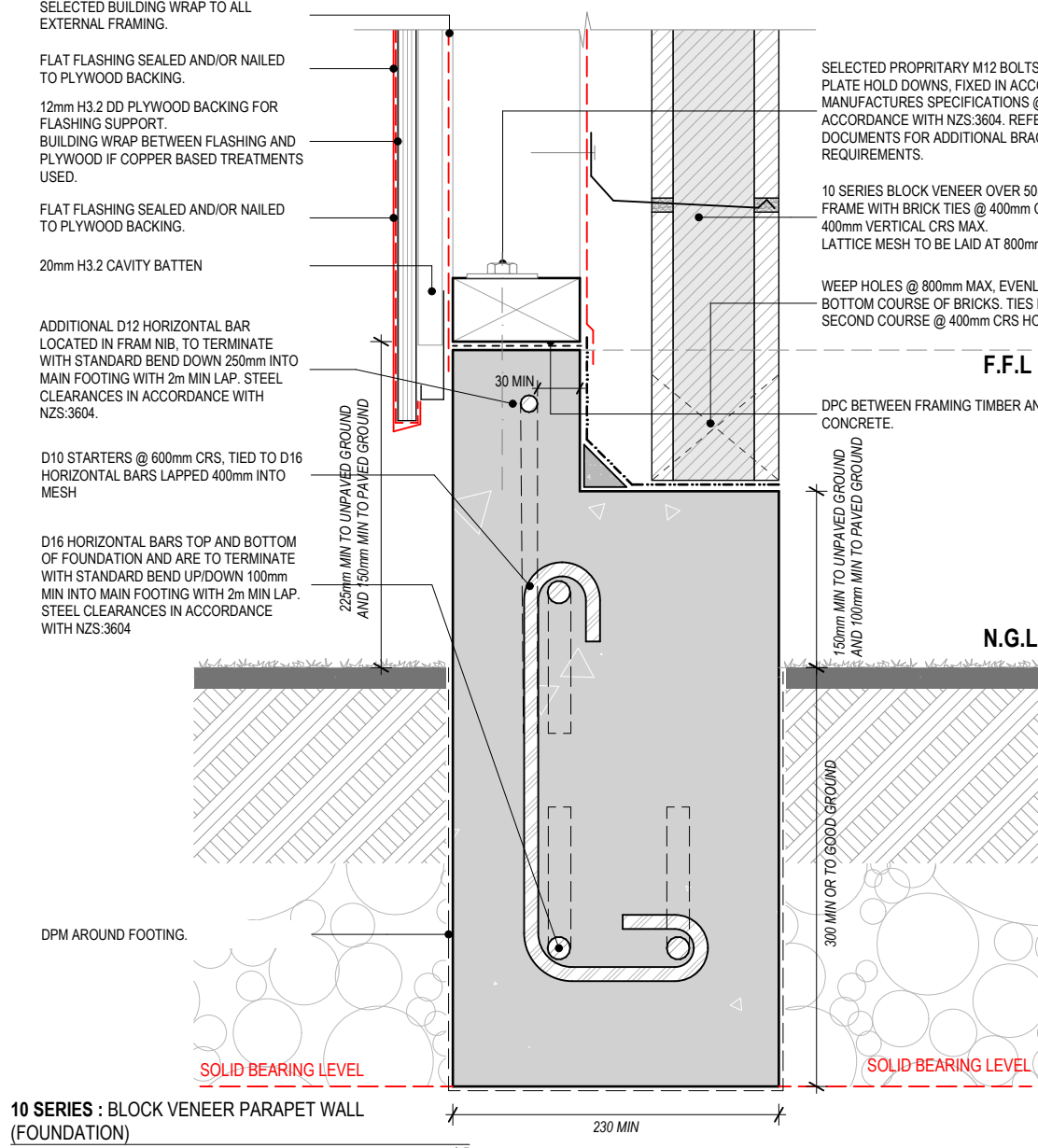
29 PENTECOST ROAD
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

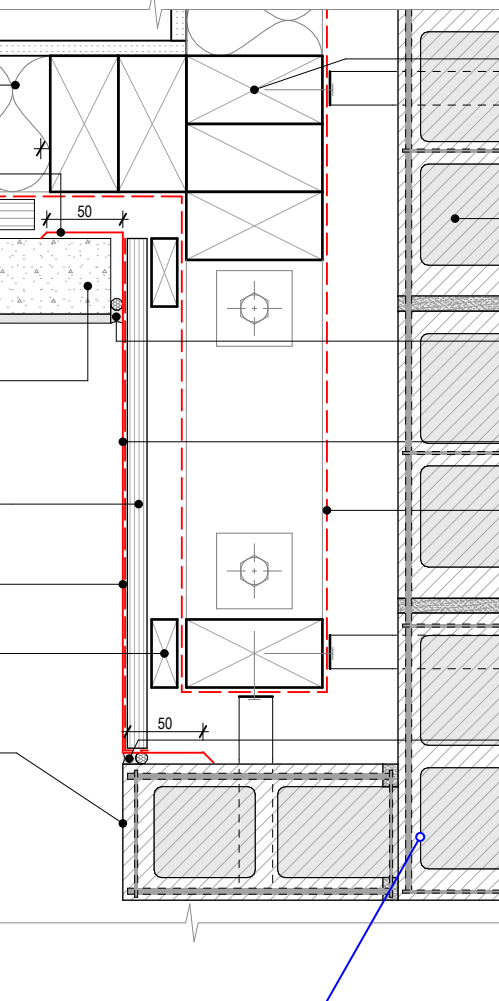
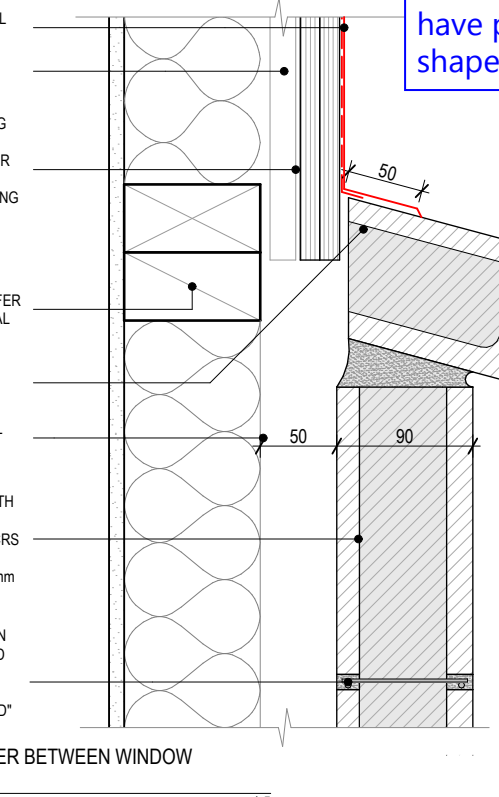
STAGE:	VERSION:
CONSENT ISSUE	1.2A
DATE:	SCALE:
13.10.2020	1:5

A5.06

DETAILS : CLADDING (10 SERIES)



Corner intersections to have purpose-made L shaped lattice mesh





ARTIST IMPRESSION ONLY

DRAWING

REGISTER

A1.01	SITE PLAN
A1.02	FOUNDATION PLAN
A1.03	PLUMBING & DRAINAGE : GF
A1.04	MIDFLOOR, PLUMBING & DRAINAGE PLANS : FF
A2.01	FLOOR PLAN : GF
A2.02	FLOOR PLAN : FF
A2.03	FRAMING PLAN : GF
A2.04	FRAMING PLAN : FF
A2.05	ROOF PLAN
A2.06	BRACING PLAN : GF
A2.07	BRACING PLAN : FF
A2.08	BRACING CALCULATIONS
A2.09	ELECTRICAL PLAN : GF & FF
A3.01	ELEVATIONS
A3.02	ELEVATIONS
A4.01	SECTION A
A4.02	SECTION B
A4.03	SECTION C
A4.04	SECTION D
A5.01	DETAILS : CLADDING (AAC)
A5.02	DETAILS : CLADDING (AAC)
A5.03	DETAILS : CLADDING (AAC)
A5.04	DETAILS : CLADDING (10 SERIES)
A5.05	DETAILS : CLADDING (10 SERIES)
A5.06	DETAILS : CLADDING (10 SERIES)
A5.07	DETAILS : CLADDING (10 SERIES)
A5.08	DETAILS : ROOF
A5.09	DETAILS : MISC
A5.10	DETAILS : MISC
A5.11	DETAILS : MISC
A5.12	DETAILS : MISC
A5.13	DETAILS : DRAINAGE
A5.14	DETAILS : PLUMBING
A5.15	DETAILS : WET AREA
A6.01	JOINERY SCHEDULE

JOYCE BUILT | JOB # D0088

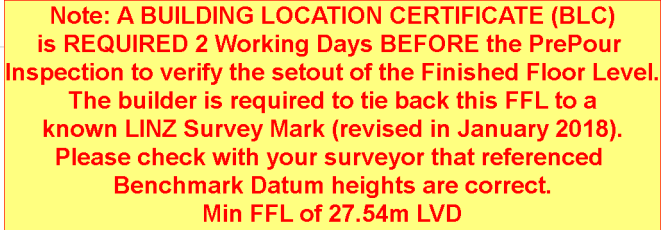
LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
MAY BE REPRODUCED OR COPIED IN ANY FORM
WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	∇ / $\diamond$
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	
SETOUT LINE	— — — —

CONDUCTED BY : ENVIVO
PROJECT 31962
REV A - 02/12/2020

NOTE: : REFER TO FULL SURVEY PLAN
LOCATED IN SUPPORTING
DOCS.

PROJECT DETAILS:
JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:200

A1.01

SITE PLAN

OVER FRAMING (GF)	:	190.02 m²
OVER FRAMING (FF)	:	44.74 m²
TOTAL FLOOR AREA	:	234.76 m²
OVER FOUNDATION	:	192.91 m²
SITE COVERAGE AREA	:	215.79 m²

SITE AREA	:	655m ²	
SITE COVERAGE	:	32.95%	(35% PERMITTED)

IMPERVIOUS SURFACE AREA: 98.15 m² (EXCLUDING DWELLING & GARAGE)

EARTHQUAKE ZONE	:	2
WINDZONE	:	HIGH
SNOW ZONE	:	N4 : 1kPa
EXPOSURE ZONE	:	B

TERRITORIAL AUTHORITY :	WAIMAKARIRI DISTRICT COUNCIL
PLANNING ZONE :	RESIDENTIAL 2
HISTORICAL INTEREST :	N/A
NATURAL HAZARDS :	0.5% ANNUAL EXCEEDANCE PROBABILITY LOCAL FLOODING. 0.5% ASHLEY RIVER OUTBREAK EVENT.
INTERIM FLOOR LEVEL :	27.54m MIN AS PER RC185198
TC CATEGORY :	TC1
FOUNDATION TYPE :	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.

BOUNDARY INFO	:	AS PER LT 553457
SITE LEVELS	:	OBTAINED
SITE INFO	:	LOCATIONS OF ROAD CROSSINGS, SERVICES LOCATIONS, STREET TREES, LAMP POSTS, PARKING BAYS, PEDESTRIAN ISLANDS ETC TBC
LANDSCAPING	:	INDICATIVE ONLY

NON COMPLIANCES : N/A
DEVELOPER APPROVAL : ROOF PITCH UNDER 26° REQUIRES APPROVAL

STEPS	:	A STEP/S OR APPROPRIATE LANDSCAPING IS TO BE PROVIDED IF DROP FROM EXTERNAL DOORS IS GREATER THAN 190mm FROM FFL TO FGL
PAVED AREAS	:	ALL ACCESS ROUTES MUST PROVIDE A NON-SLIP SURFACE IN ACCORDANCE TO NZBC D1/A51 TABLE 2 CONVEY SURFACE WATER FROM SEALED DRIVE TO AN APPROPRIATE APPROVED OUTFALL

DECKS	:	TIMBER DECK AREAS ARE TO BE FREESTANDING ELEMENTS - NOT CONNECTED TO MAIN BUILDING & UNDER 1.5m IN HEIGHT. THEREFORE THESE ARE EXEMPT FROM BUILDING CONSENT APPLICATION AS PER THE BUILDING ACT 2004, SCHEDULE 1. DECK & STEPS ARE HOWEVER ARE TO BE CONSTRUCTED IN FULL ACCORDANCE WITH NZBC D1/AS1 4.1.1, 4.1.8, 6.0 & FIG. 26 AND NZBC SIMPLE HOUSE SH/AS1 SECTION 3.4
-------	---	---

MIN FFL	:	27.54m (IN ACCORDANCE WITH RC RC185198) BLC REQUIRED TO VERIFY FFL AS PER WDC
DATUM	:	TOP OF KERB (LEVELS IN RELATION TO LYTTELTON VERTICAL DATUM 1937 (SAME AS 224 SURVUS PLAN - RC185198)



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	
SAW CUT	
FREE JOINT	
LBW (AS PER TRUSS)	

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

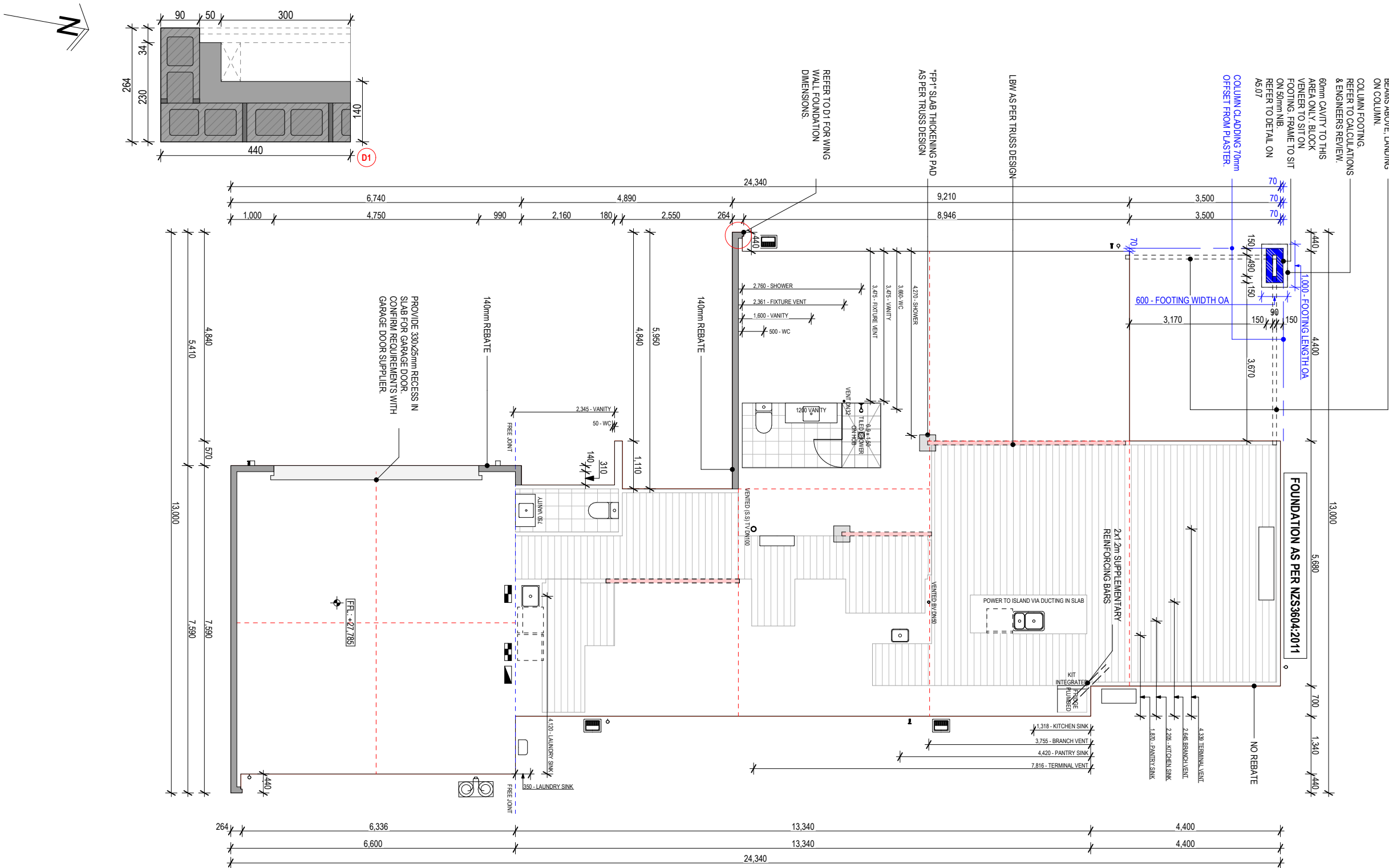
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100, 1:10

A1.02

FOUNDATION PLAN



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

FOUNDATION INFORMATION

MAIN CONTRACTOR	:	CONFIRM ALL BOUNDARY SETBACKS & RESTRICTIONS COMPLY WITH CURRENT REGULATIONS PRIOR TO COMMENCEMENT OF FOUNDATIONS CONFIRM POSITIONS OF AVAILABLE SERVICES, CABLING ETC. ON SITE PRIOR TO ANY EXCAVATION, CONFIRM LAYOUT OF KITCHEN & BATHROOM FITTINGS WITH OWNER BEFORE COMMENCING
CLEARANCES	:	FFL TO BE 150mm MIN ABOVE CROWN OF ROAD AS PER NZBC E1/AS1 MINIMUM FFL ABOVE SURROUNDING GROUND TO BE 225mm TO UNSEALED GROUND, 150mm TO SEALED GROUND
PREPARATION	:	ALL TOPSOIL SHOULD BE REMOVED FROM BENEATH THE AREA OF THE FLOOR SLAB & CAP40 HARDFILL SHOULD BE PLACED IN LAYERS NOT EXCEEDING 150mm LOOSE DEPTH & COMPACTED TO ACHIEVE A MINIMUM DRY DENSITY OF 2,150kg/m ³
TRUSS DESIGN	:	REFER TO TRUSS DESIGN FOR SLAB THICKENING & LOAD BEARING WALLS
EARTHING	:	MESH IN FLOOR SLAB MUST BE EARTHED, EARTH WITH 16mm REO ROD BROUGHT UP INTO GARAGE WALL BELOW METERBOX & WIRED TO MESH. AT PREWIRE, CONNECT A CLAMP & PIECE OF WIRE TO ROD & EARTH TO METERBOX.

INSTALLATION NOTES

FOUNDATION	:	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION. FOUNDATION, REFER TO DETAILS FOR MORE INFO/ALL FOUNDATION FOOTING SIZES.
FOOTING (GENERAL)	:	200mm/260mm WIDE CONCRETE FOUNDATION FOOTING (20MPa MIN) REINFORCED WITH 2/D16 BARS & D10 STARTERS @ 600mm CRS MAX EXTENDING 400mm MIN INTO SLAB, REFER TO DETAILS FOR FURTHER INFO.
SLAB	:	100mm THICK CONCRETE SLAB (20MPa MIN), REINFORCED WITH GRADE 500E MESH WITH 30mm COVER MIN ON 0.25mm POLYTHENE DPM, 25mm MAX SAND BLINDING LAYER & 150mm MAX LAYER COMPACTED AP40 GRANULAR FILL
REBATE	:	2x COATS OF BITUMINOUS LIQUID TO BRICK REBATE
CORNER REINFORCING	:	MESH SUPPLEMENTARY REINFORCING (2/D12 1200mm LONG) TO INTERNAL CORNERS WHERE SHRINKAGE CONTROLS DO NOT MEET THE INTERNAL CORNER

INSTALLATION NOTES

SHRINKAGE CONTROL	:	1/4 DEEP SAW CUT INTO CONCRETE SLAB @ 6m CRS MAX @ 1:2 RATIO MAX. SHRINKAGE CONTROL JOINTS MAY BE CUT AT AN ANGLE NOT LESS THAN 60°, IN ACCORDANCE WITH NZS 3604:2011 7.5.8.6.1 AVOID CONSTRUCTION JOINTS & SHRINKAGE CONTROLS UNDER TILED AREAS & FRAMING THAT IS TO BE USED AS A BRACING ELEMENT
PLUMBING	:	TYPICAL 140mm OFFSET FROM WALL TO CENTRE OF WC WASTE RISER (CONSULT MANUFACTURER'S TECHNICAL SPEC TO CONFIRM) TYPICAL 45mm OFFSET TO CENTRE LINE OF WALL TO CENTRE OF VANITY & TUB WASTE RISERS

COLUMN FOOTING CALCULATIONS TO RESIST UPLIFT AS PER NZS 3604:2011 TABLE 9.1

WINDZONE	:	HIGH
SUPPORTED ROOF AREA	:	6m ² = 0.30m ³ FOOTING REQUIRED
SIZE	:	1000mm WIDE x 600mm LONG x 500mm DEEP



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
FOUL WATER	---
STORM WATER	-.-.-
INSPECTION POINT	IP / IP
GULLY TRAP	GT
RELIEF GULLY TRAP	RGT
HOSE TAP	HT
DOWNPIPE	DP / DP
TERMINAL VENT	TV
BRANCH VENT	BV
SOAK PIT	SP
AIR ADMITTANCE VALVE	AAV
SOIL STACK	SS

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

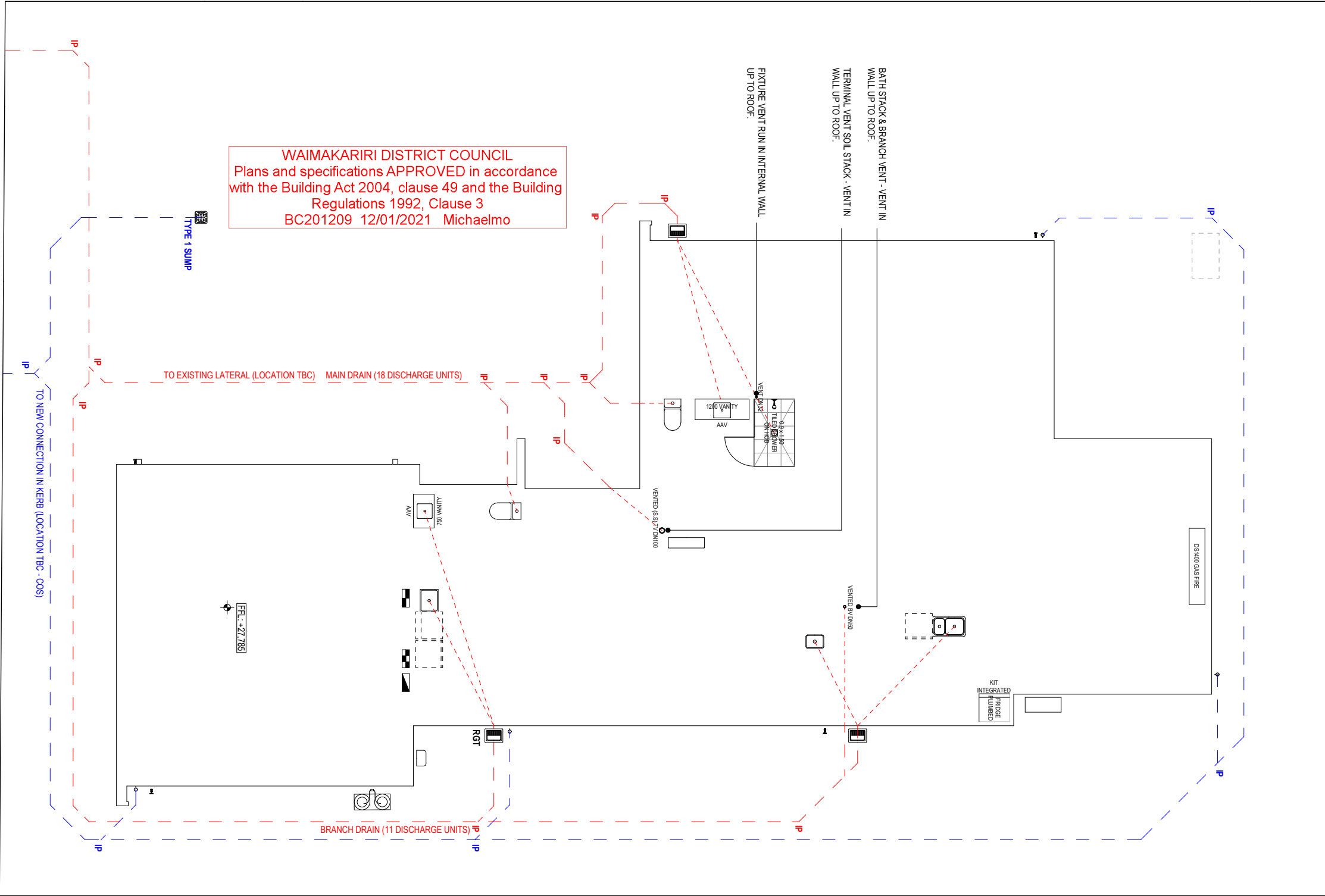
 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A1.03
 PLUMBING & DRAINAGE : GF

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



PLUMBING & SERVICES INFOMATION

GENERAL	:	ALL PLUMBING & DRAINAGE TO COMPLY WITH G13 ALL PLUMBING & DRAINAGE TO BE DONE BY QUALIFIED TRADESPERSONS WITH SIZES, FALLS, VENTING & DISCHARGE TO BE CONFIRMED BY NZ QUALIFIED PLUMBER.
INSTALLATION	:	POSITION OF STREET LATERALS TO BE CONFIRMED ON SITE. ALLOW TO CHECK ALL DIMENSIONS & FALLS OF DRAINS ONSITE PRIOR TO INSTALLATION. RELIEF GULLY TRAP IS TO BE POSITIONED SO THAT THE TOP OF THE GULLY DISH IS NO LESS THAN 150mm BELOW THE OVERFLOW LEVEL OF THE LOWEST SANITARY FIXTURE SERVED BY THE DRAINAGE SYSTEM. 25mm MIN AIR GAP BETWEEN ALL PIPES DISCHARGING TO GT & GT. WATER INPUT LOCATION & WATER ISOLATION VALVE UNDER MB.

HOT WATER	:	HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS4305. MAINS PRESSURE; 15mm DIA ALLOWS 12m MAX PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED
HOT WATER SUPPLY	:	SELECTED GAS HOT WATER HEATER WITH x2 45KG BOTTLES, LOCATED AS PER PLANS. ALL ASPECTS INSTALLED TO MANUFACTURERS SPECIFICATIONS & BEST PRACTICE GUIDELINES.
HEATPUMP	:	HEATPUMP DRAIN PIPE TO DISCHARGE TO THE NEAREST PLANTING AREA WITH VERMIN PROOFING TO OUTLET.
MATERIALS	:	80mm ROUND COLORSTEEL DPS ALL WASTE PIPES PVC INTERNAL WATER PIPES TO BE POLYBUTYLENE ALL PIPEWORK & VALVES EXPOSED TO EXTERNAL WEATHER CONDITIONS TO BE THERMALLY INSULATED (LAGGED WITH CLOSED CELL FOAM).

LEGEND (GROUND & FIRST FLOOR)

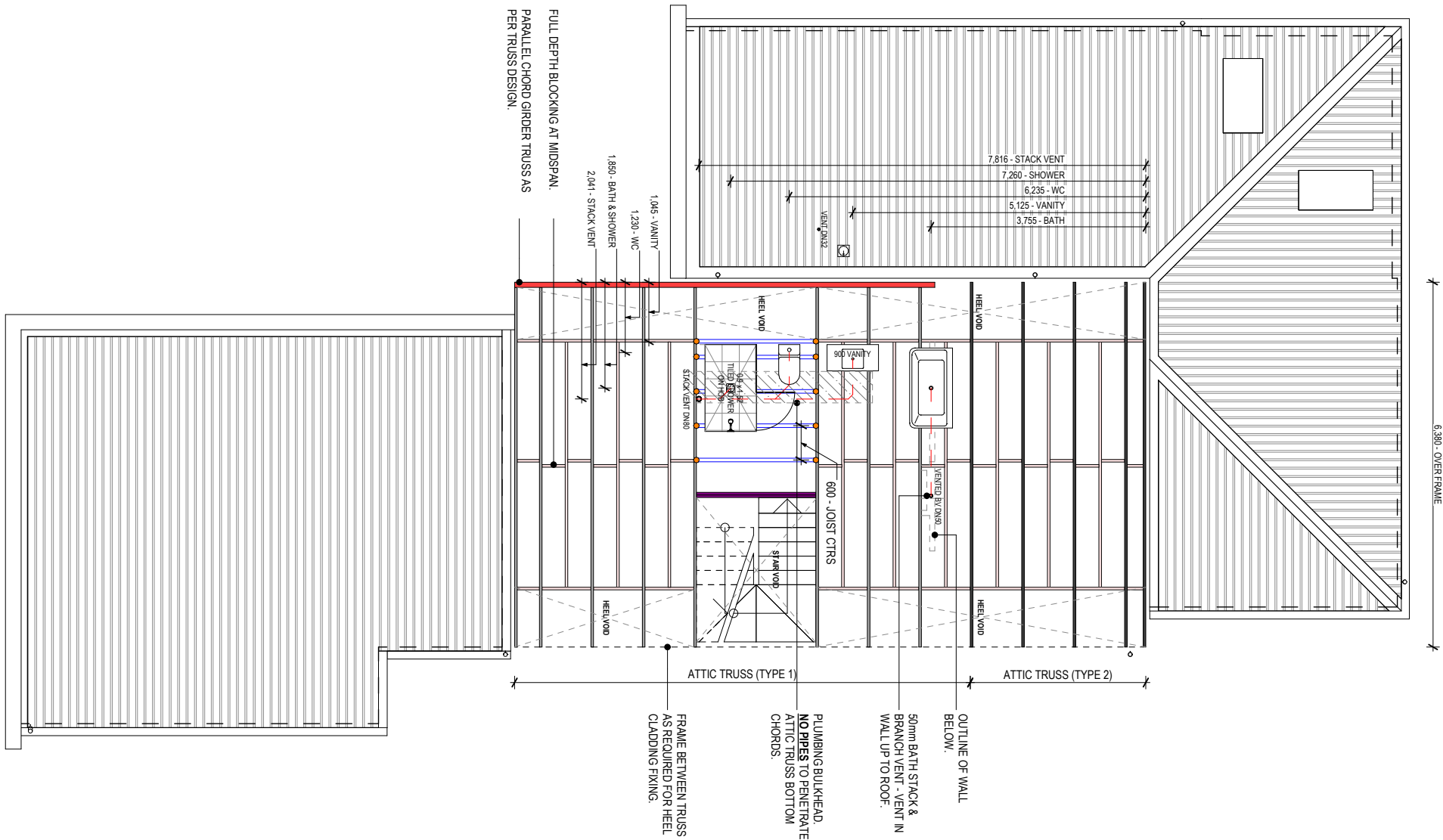
REF	FIXTURE	WASTE SIZE	GRADIENT	DISCHARGE UNITS
WC	TOILET	100mm	1:60	4
B	BATH	40mm	1:20	4
SH	SHOWER	40mm	1:20	2
S	KITCHEN SINK & DW	50mm	1:40	3
V	VANITY	40mm	1:20	1
WHB	HAND BASIN	40mm	1:20	1
TUB	LAUNDRY TUB & WM	50mm	1:40	5
WM	WASHING MACHINE	DISCHARGE TO TUB		
TV	TERMINAL VENT	80mm		
BV	BRANCH VENT	40mm		
DP	DOWNPIPE	SIZE AS PER PLANS		
SS	SOIL STACK	100mm		

100mm UPVC FOUL WATER DRAIN AT 1:60 GRADIENT TO EXISTING LATERAL (FW)

100mm UPVC STORM WATER DRAIN AT 1:100 GRADIENT TO EXISTING LATERAL (SW)



WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



MIDFLOOR STRUCTURE

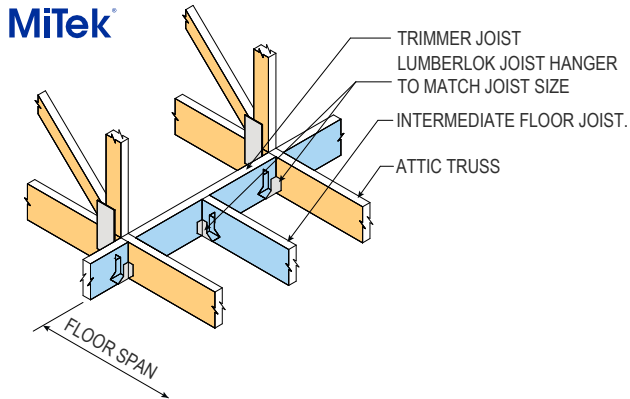
MIDFLOOR	:	ATTIC TRUSSES AT 900 CRS AS PER TRUSS DESIGN. 240mm HYJOIST TO STAIRS AND BATHROOM.
FIXINGS	:	JOISTS FIXED TO ATTIC TRUSSES IN ACCORDANCE WITH MITEK "GANG-NAIL ROOF TRUSS SYSTEM". (REFER TO TYPICAL JOIST TO TRUSS CONNECTION DETAIL) HYJOISTS FIXED TO TRUSS BOTTOM CHORD WITH IBHF24065 JOIST HANGER.
JOIST PENETRATIONS	:	NO PENETRATIONS IN ATTIC TRUSSES. SERVICES TO RUN IN BULKHEAD BELOW LINE OF BOTTOM CHORD.
INSTALLATION	:	ALL ASPECTS OF THE MIDFLOOR TO BE INSTALLED IN ACCORDANCE WITH CHH "FUTURE BUILD HYJOIST DESIGN & INSTALLATION GUIDE" AND "GANG-NAIL ROOF TRUSS SYSTEM"
FLOORING	:	WET AREAS: 19mm H3.2 PLYWOOD T/G FLOORING NON WET AREAS: 19mm UT PLYWOOD T/G FLOORING FIXED & INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICIATIONS.

MIDFLOOR STRUCTURE

BLOCKING	:	FULL DEPTH BLOCKING INSTALLED AT MIDSPAN (BLOCKING NOT REQUIRED ON T&G EDGES). REFER TO "ECOPLY SPECIFICATION & INSTALLATION GUIDE" FOR MORE INFO.
	:	FULL DEPTH BLOCKING TO BE INSTALLED ALONG THE BRACING LINE OF ALL WALLS IN THE FLOOR BELOW THAT CONTAIN A WALL BRACING ELEMENT. REFER TO BRACING PLAN FOR LOCATIONS.

PLUMBING & SERVICES INFOMATION

GENERAL	:	REFER TO A1.03 FOR STANDARD PLUMBING & DRAINAGE NOTES THAT APPLY TO FF.
---------	---	---



MISC : TYPICAL JOIST TO TRUSS CONNECTION

PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

MIDFLOOR KEY	SYMBOL
ATTIC TRUSS TYPE 1 (S6 - REFER TO TRUSS DESIGN)	
ATTIC TRUSS TYPE 1 (S2,S2A,S3A,S3,S4 AND S5 REFER TO TRUSS DESIGN)	
2/300x45 H1.2 HYPAN BEAM	
240x45 SG8 H1.2 FLOOR JOISTS,TRIMMERS & BLOCKING - BLOCKING AT MIDSPAN. -JOISTS @ 450 CRS	
240x63 HYJOIST FLOOR JOISTS -JOISTS @ 600 CRS	
PARALLEL CHORD GIRDER TRUSS (REFER TO TRUSS DESIGN)	
AREA OF BULKHEAD BELOW.	
IBHF24065 JOIST HANGER	

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457
 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE:

A1.04
 MIDFLOOR, PLUMBING &
 DRAINAGE PLANS : FF



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

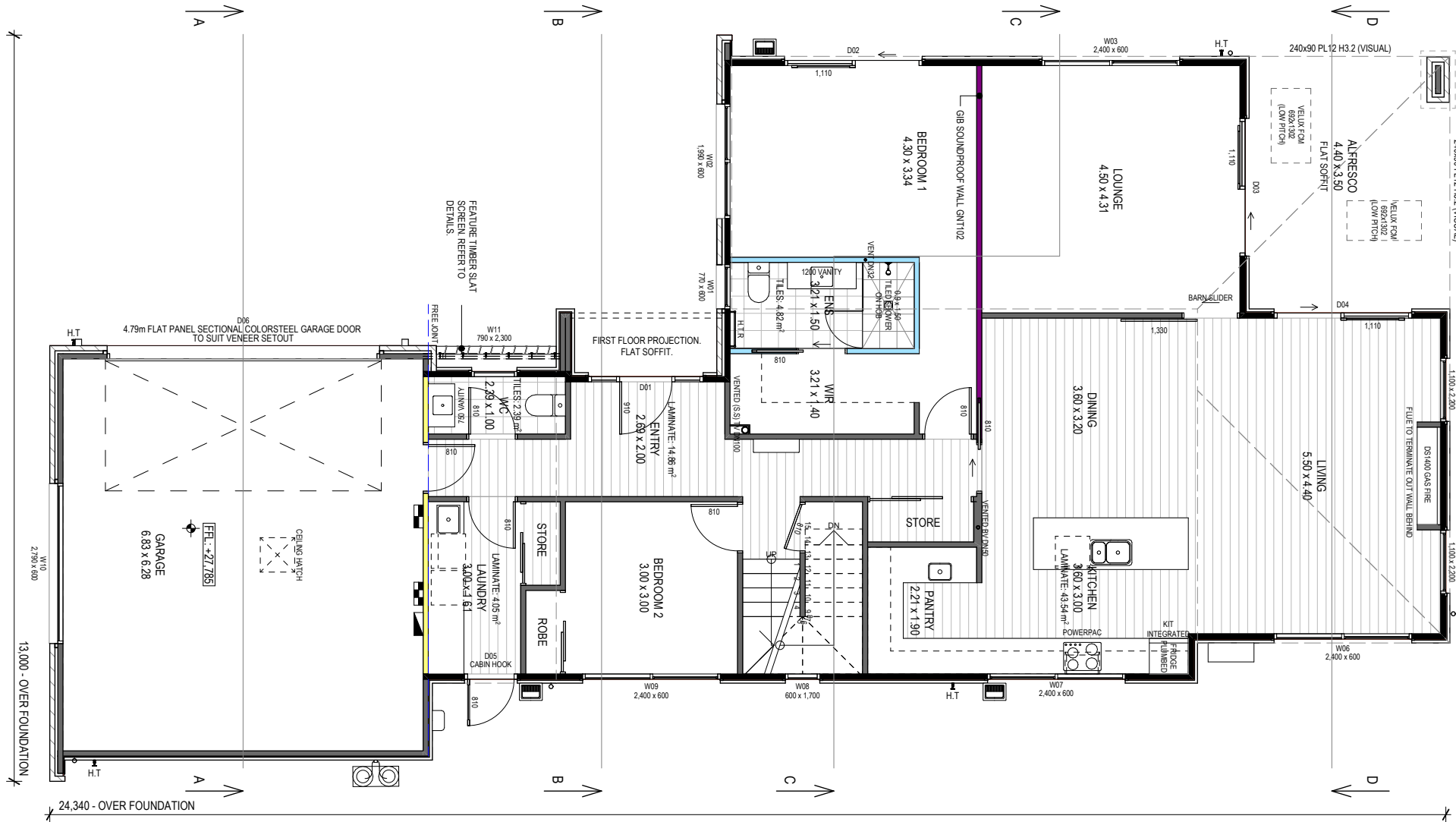
DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A2.01

FLOOR PLAN : GF

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



ENVELOPE NOTES

WALL CLADDING : 50mm SPECIALISED AAC PANEL ON 20mm CAVITY
10 SERIES BLOCK VENEER ON 50mm CAVITY, STACK BOND

ROOF CLADDING : COLORSTEEL LONGRUN TRIMLINE

CONSTRUCTION NOTES

ENGINEERING : N/A

EXTRAS : BACK TO WALL BATH
PLUMBED FRIDGE
KIT INTEGRATED FRIDGE
FEATURE TIMBER SLAT SCREEN
GARAGE DOOR TO SUIT BLOCK VENEER
X3 VELUX SKYLIGHTS
SOUND PROOFING TO BED 1 (LOUNGE TO BED WALL)

GENERAL NOTES

ROOF PITCH : 40°, 3°
EAVE WIDTH : 70mm (TO SUIT CLADDING)
GABLE WIDTH : 70mm (TO SUIT CLADDING)
PITCHING HEIGHT : 2455mm TO GF
HEEL HEIGHT : 300mm TO 3 DEGREE TRUSSES
300mm TO BED 4 & GF ROOF APART FROM GARAGE
LINTEL HEIGHT : 2200mm GENERAL
2100mm TO W01 & W02 (TO SUIT VENEER)
2300mm TO GARAGE DOOR & W11 (TO SUIT VENEER)
1900mm TO BED 3, BED 4 (INCLUDING ROBES)
3300mm TO STAIR
1600mm TO KITCHEN
SOFFIT TYPE : FLAT
RAKING CEILING : ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING : N/A
DOOR LEAF HEIGHT : O/H : 2200mm, STANDARD TO FF (1900mm TO ROBE SLIDERS)

GENERAL NOTES

HEATING : HEAT PUMP LOCATED AS SHOWN

VENTILATION : REFER TO ELECTRICAL PLAN FOR PATH AND METHODS.

SMOKE ALARMS : REQUIRED WITHIN 3m OF ALL SLEEPING AREAS, OR A CHANGE IN LEVEL & ENTRY/EXITS AS PER NZS 4514 & BRANZ BULLETIN NO.606

FLOORING : ALL HARD FLOOR FINISHES TO COMPLY WITH NZBC D1/AS TABLE 2 FLOOR TILES TO BE NON-SLIP & HAVE A SLIP COEFFICIENT VALUE OF 0.35 - 0.65 FOR GRIT FINISHED CERAMIC TILES

WET AREAS : SATIN ENAMEL WALL FINISH TO BATHROOMS & WALLS NEXT TO SINKS IMPERVIOUS LINING TO BE USED ABOVE BASINS, VANITIES & BENCHES SEAL BOTTOM EDGE WITH MOULD RESISTANT SEALANT

WATER PROOFING : SELECTED WATERPROOFING MEMBRANE REQUIRED TO BATHROOMS & REBATED/LEVEL ACCESS SHOWERS



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

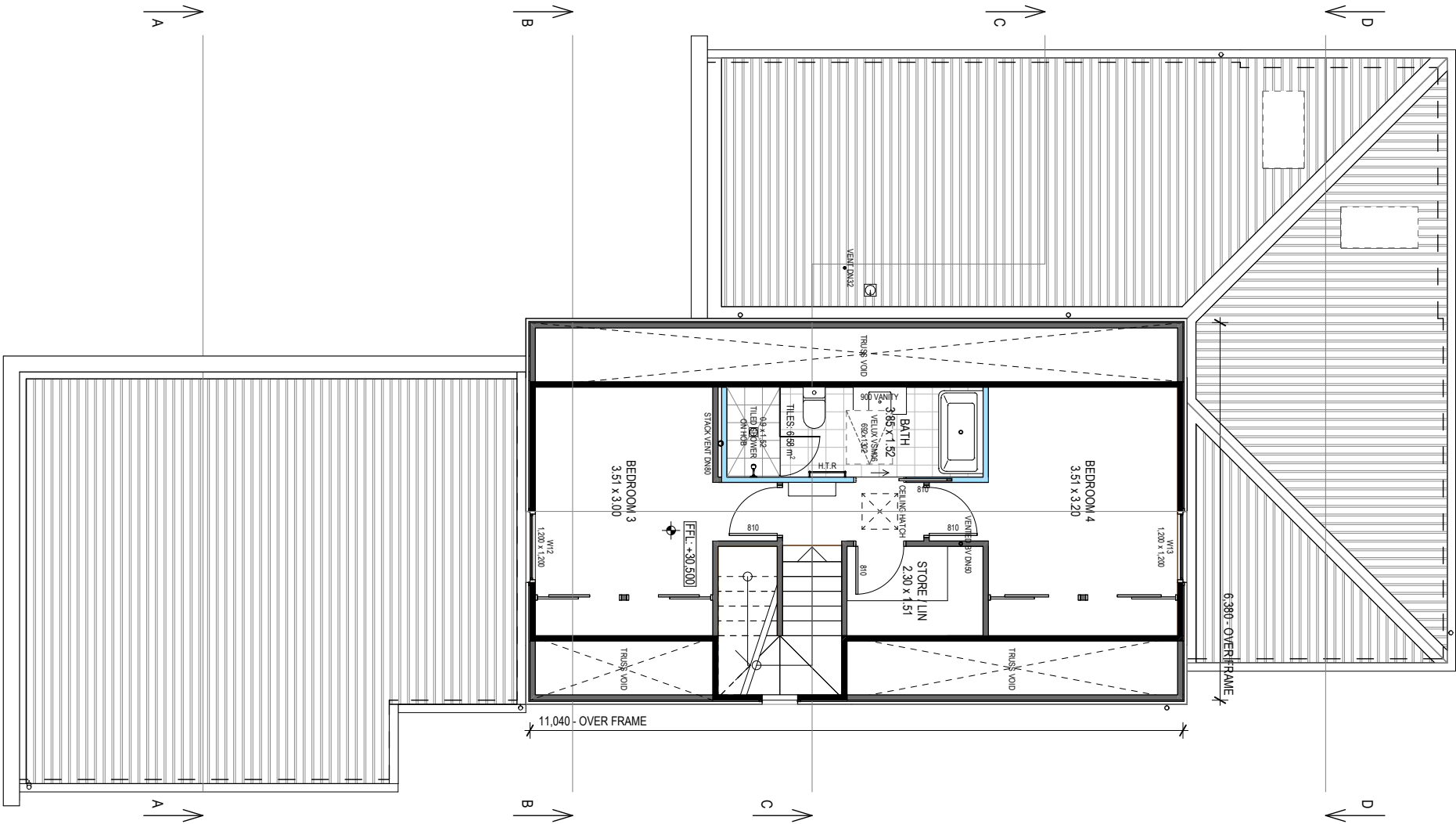
DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A2.02

FLOOR PLAN : FF

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



ENVELOPE NOTES

WALL CLADDING : 50mm SPECIALISED AAC PANEL ON 20mm CAVITY
10 SERIES BLOCK VENEER ON 50mm CAVITY, STACK BOND

ROOF CLADDING : COLORSTEEL LONGRUN TRIMLINE

CONSTRUCTION NOTES

ENGINEERING : N/A

EXTRAS : BACK TO WALL BATH
PLUMBED FRIDGE
KIT INTERGRATED FRIDGE
FEATURE TIMBER SLAT SCREEN
GARAGE DOOR TO SUIT BLOCK VENEER
X3 VELUX SKYLIGHTS
SOUND PROOFING TO BED 1 (LOUNGE TO BED WALL)

GENERAL NOTES

ROOF PITCH : 40°, 3°
EAVE WIDTH : 70mm (TO SUIT CLADDING)
GABLE WIDTH : 70mm (TO SUIT CLADDING)
PITCHING HEIGHT : 2455mm TO GF
HEEL HEIGHT : 300mm TO 3 DEGREE TRUSSES
300mm TO BED 4 & GF ROOF APART FROM GARAGE
LINTEL HEIGHT : 2200mm GENERAL
2100mm TO W01 & W02 (TO SUIT VENEER)
2300mm TO GARAGE DOOR & W11 (TO SUIT VENEER)
1900mm TO BED 3, BED 4 (INCLUDING ROBES)
3300mm TO STAIR
1600mm TO KITCHEN
SOFFIT TYPE : FLAT
RAKING CEILING : ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING : N/A
DOOR LEAF HEIGHT : O/H : 2200mm, STANDARD TO FF (1900mm TO ROBE SLIDERS)

GENERAL NOTES

HEATING : HEAT PUMP LOCATED AS SHOWN

VENTILATION : REFER TO ELECTRICAL PLAN FOR PATH AND METHODS.

SMOKE ALARMS : REQUIRED WITHIN 3m OF ALL SLEEPING AREAS, OR A CHANGE IN LEVEL & ENTRY/EXITS AS PER NZS 4514 & BRANZ BULLETIN NO.606

FLOORING : ALL HARD FLOOR FINISHES TO COMPLY WITH NZBC D1/AS TABLE 2 FLOOR TILES TO BE NON-SLIP & HAVE A SLIP COEFFICIENT VALUE OF 0.35 - 0.65 FOR GRIT FINISHED CERAMIC TILES

WET AREAS : SATIN ENAMEL WALL FINISH TO BATHROOMS & WALLS NEXT TO SINKS
IMPERVIOUS LINING TO BE USED ABOVE BASINS, VANITIES & BENCHES
SEAL BOTTOM EDGE WITH MOULD RESISTANT SEALANT

WATER PROOFING : SELECTED WATERPROOFING MEMBRANE REQUIRED TO BATHROOMS & REBATED/LEVEL ACCESS SHOWERS



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
MAY BE REPRODUCED OR COPIED IN ANY FORM
WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

WALL HEIGHTS KEY	SYMBOL
90x45 H1.2 @ 600 CRS (2.455m) - 2 ROWS - INSULATED - GIB STD	
90x45 H1.2 timberFRAME @ 400 CRS (3.300m) - 7 ROWS (400 CRS) - RED INSULATED - GREEN NOT INSULATED - GIB STD	
90x45 H1.2 @ 600 CRS (2.455m) - 2 ROWS - INSULATED R2.6 - GIB NOISELINE ON EACH SIDE OF WALL	
90x45 H1.2 @ 600 CRS - 2 ROWS (2.455m) NOT INSULATED - GREY = GIB STD - BLUE = GIB AQUALINE	
90x45 H1.2 timberFRAME @ 400 CRS (3.400m) - 4 ROWS (800 CRS) - INSULATED - GIB STD	
LOAD BEARING WALLS REF TRUSS DESIGN.	
STRUCTURAL PARALLEL CHORD TRUSS	

* REFER TO BRACING PLAN FOR SPECIFIC WALL LINING REQUIREMENTS.

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

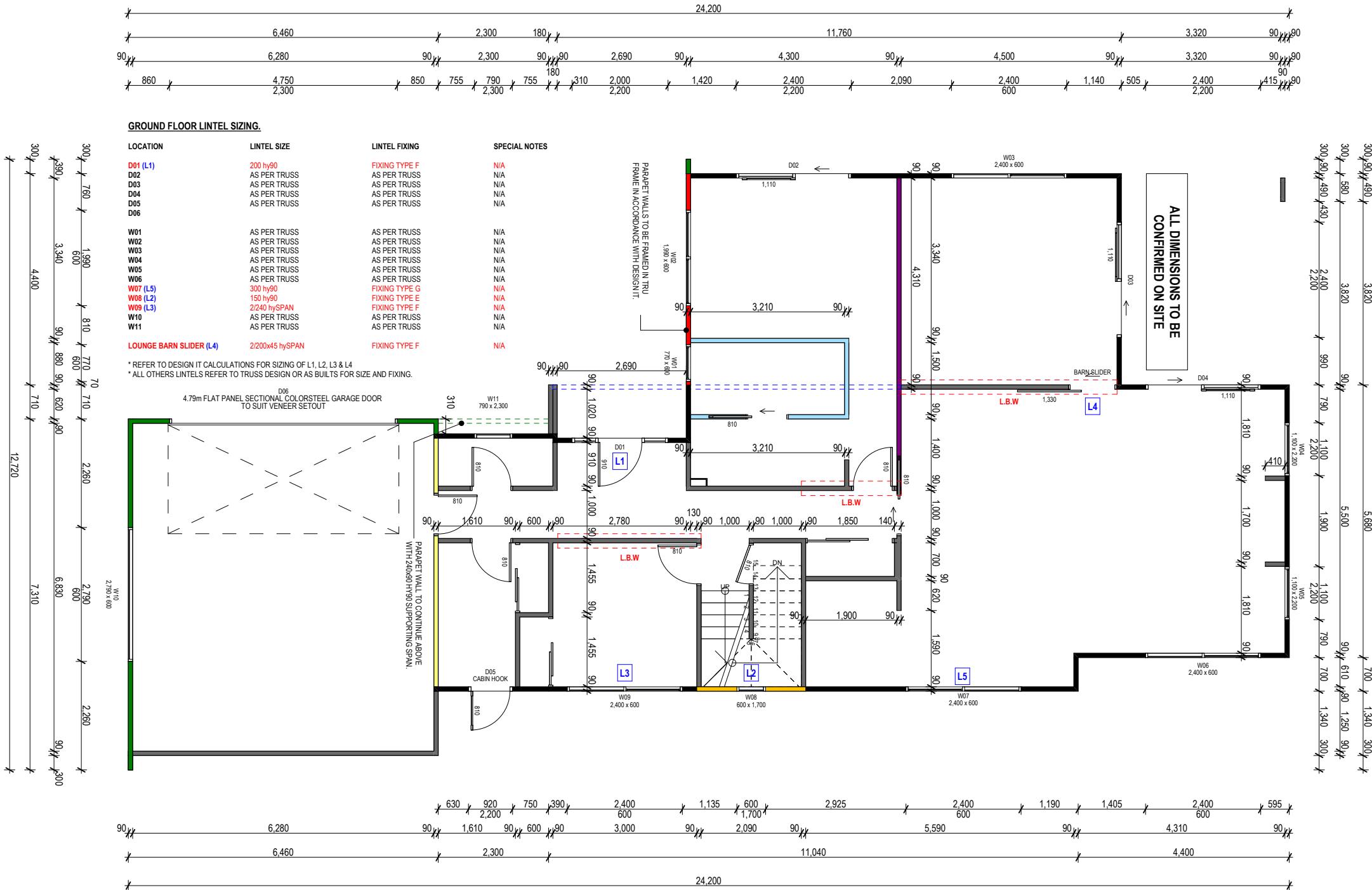
ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE:	VERSION:
CONSENT ISSUE	1.2D
DATE:	SCALE:
11.01.2020	1:100

A2.03 FRAMING PLAN : GF



GENERAL NOTES

WIND ZONE	:	HIGH
PITCHING HEIGHT	:	2455mm TO GF
WALL STRUCTURE	:	EXTERNAL: REFER TO KEY INTERNAL: REFER TO KEY
BOTTOM PLATE	:	45mm THICK, WIDTH TO MATCH STUD
TOP PLATE	:	45mm THICK, WIDTH TO MATCH STUD, ADDITIONAL TOP PLATE 35mm THICK, 140mm WIDE IF 90mm WALL, 190mm WIDE IF 140mm WALL
INSULATION	:	R3.6 CEILING BATTS, TRIM TO MAINTAIN 25mm AIR GAP BETWEEN INSULATION & ROOF UNDERLAY (SKILLION TYPE INSULATION TO ATTIC AREA) & R2.6 WALL BATTS OPTIONAL SILENCER INSULATION TO MIDFLOOR. NO INSULATION TO GARAGE CEILING.
LINTEL HEIGHT	:	2200mm, REFER TO TRUSS DESIGN FOR SIZES
DOOR LEAF HEIGHT	:	O/H : 2200mm, STANDARD TO FF

FIXING SCHEDULE

EXTERIOR BOTTOM PLATE TO SLAB:	PROPRITORY SCREW BOLT WITH WASHER @ 900mm CRS MAX, FIXED IN ACCORDANCE WITH MANUFACTURES GUIDELINES & NZS 3604:2011. REFER TO BRACING PLAN FOR ADDITIONAL HOLD DOWN FIXINGS
INTERIOR BOTTOM PLATE TO SLAB:	75x3.8mm SHOT FIRED FASTENINGS WITH 16mm WASHERS @ 600mm CRS, WITHIN 150mm EACH END OF PLATE. REFER TO BRACING PLAN FOR ADDITIONAL HOLD DOWN FIXINGS
STUD TO BOTTOM OR TOP PLATE:	3/90x3.15mm END NAILS + 2/WIREDOGS (OR ALTERNATIVE 4.7kN FIXINGS)
DWANG TO STUD	2/90x3.15mm SKEWED NAILS
HALF JOINT IN TOP PLATE	4/75x3.06mm SKEWED NAILS
LINTEL TO TRIMMING STUD	4/90x3.15mm SKEWED NAILS
SOFFIT RIBBON BOARD TO STUD:	3/90x3.15mm NAILS
SILL TRIMMER TO TRIMMING STUD:	TRIMMER NOT EXCEEDING 2400mm; 3/90x3.15mm END NAILS TRIMMER NOT EXCEEDING 3000mm; 5/90x3.15mm END NAILS TRIMMER NOT EXCEEDING 3600mm; 6/90x3.15mm END NAILS 2/90x3.15mm @ 500mm CRS
DOUBLE TOP PLATE TO TOP PLATE:	90x3.15mm NAILS @ 600mm CRS
TRIMMING STUDS AT OPENINGS, STUDS & BLOCKING AT WALL INTERSECTIONS:	2/90x3.15mm NAILS IMMEDIATELY UNDER LINTELS
TRIMMING STUD TO DOUBLING STUD:	REFER TO TRUSS DESIGN OR 2/90x3.15mm SKEW NAILS PLUS 2/WIREDOGS (ALT FIXING 4.7kN)
TRUSSES TO TOP PLATE	:

TRUSSES TO CEILING BATTENS:	2/75x3.15mm NAILS @ CEILING BATTEN CRS
TRUSSES TO PURLINS/BATTENS:	1/10G SELF DRILLING SCREW, 80mm LONG
OUTRIGGERS	TO BE FIXED AS PER NZS3604:2011 TABLE 10.18 & BRANZ BUILD 142
OUTRIGGER TO GABLE TRUSS/RAFTER:	CT200 BOTH SIDES FULLY NAILED WITH 30x3.15mm & 2/90x3.15 SKEW NAILS (3/90mm NAILS TO OUTRIGGERS TO SECOND TO LAST TRUSS OF GABLE END) 4/90x3.15mm @ EACH PURLIN/OUTRIGGER FOR THE FIRST 4 PURLINS EACH SIDE OF GABLE THEN FIX OUTER FLY RAFTER WITH 90x3.15mm NAILS @ 150mm CRS STAGGERED.
OUTRIGGER TO FLYING RAFTER:	4/90x3.15mm SKEWED NAILS
OUTRIGGER DWANG TO TOP PLATE:	4/90x3.15mm SKEWED NAILS

SCHEDULE OF FRAMING TIMBER GRADING & TREATMENT

WALL FRAMING	:	EXTERIOR WALLS & LINTELS: SG8, H1.2, PINUS RADIATA INTERIOR WALLS: SG8, H1.2, PINUS RADIATA BOTTOM PLATE & TOP PLATE: SG8, H1.2, PINUS RADIATA SG8, H3.2, PINUS RADIATA
CAVITY BATTENS	:	ROOF TRUSSES - TYPICAL: SG8, H1.2, PINUS RADIATA
ROOF FRAMING	:	GABLE END TRUSS: SG8, H1.2, PINUS RADIATA PURLINS/BATTENS: SG8, H1.2, PINUS RADIATA VALLEY BOARDS, BARGE BOARDS: SG8, H1.2, PINUS RADIATA FRAMING AND REVEALS: DRESSED, H3.1, PINUS RADIATA
WINDOWS	:	



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

WALL HEIGHTS KEY	SYMBOL
90x45 H1.2 @ 600 CRS (VARIES) - 1-2 ROWS - INSULATED - GIB STD - PINK = BLOCKING BETWEEN HEEL	
90x45 H1.2 @ 600 CRS (VARIES) - 1-2 ROWS - NOT INSULATED - GREY = GIB STD - BLUE = GIB AQUALINE	

* REFER TO BRACING PLAN FOR SPECIFIC WALL LINING REQUIREMENTS.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

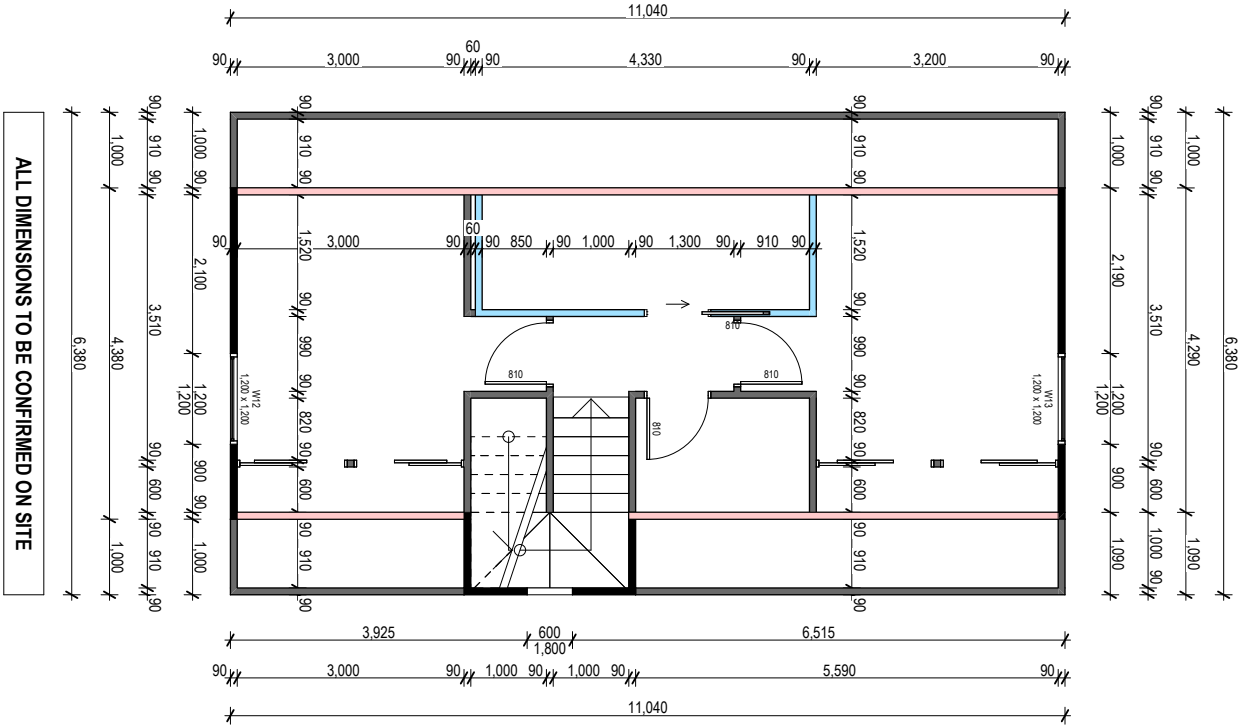
STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A2.04
 FRAMING PLAN : FF

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo

FIRST FLOOR LINTEL SIZING.

LOCATION	LINTEL SIZE	LINTEL FIXING	SPECIAL NOTES
W12	AS PER TRUSS	AS PER TRUSS	N/A
W13	AS PER TRUSS	AS PER TRUSS	N/A



GENERAL NOTES

WIND ZONE	:	HIGH
PITCHING HEIGHT	:	2455mm TO GF
WALL STRUCTURE	:	EXTERNAL: REFER TO KEY INTERNAL: REFER TO KEY
BOTTOM PLATE	:	45mm THICK, WIDTH TO MATCH STUD
TOP PLATE	:	45mm THICK, WIDTH TO MATCH STUD, ADDITIONAL TOP PLATE 35mm THICK, 140mm WIDE IF 90mm WALL, 190mm WIDE IF 140mm WALL
INSULATION	:	R3.6 CEILING BATTS, TRIM TO MAINTAIN 25mm AIR GAP BETWEEN INSULATION & ROOF UNDERLAY (SKILLION TYPE INSULATION TO ATTIC AREA) & R2.6 WALL BATTS OPTIONAL SILENCER INSULATION TO MIDFLOOR. NO INSULATION TO GARAGE CEILING.
LINTEL HEIGHT	:	2200mm, REFER TO TRUSS DESIGN FOR SIZES
DOOR LEAF HEIGHT	:	O/H : 2200mm, STANDARD TO FF

FIXING SCHEDULE

EXTERIOR BOTTOM PLATE TO SLAB:	PROPRITORY SCREW BOLT WITH WASHER @ 900mm CRS MAX, FIXED IN ACCORDANCE WITH MANUFACTURES GUIDELINES & NZS 3604:2011. REFER TO BRACING PLAN FOR ADDITIONAL HOLD DOWN FIXINGS
INTERIOR BOTTOM PLATE TO SLAB:	75x3.8mm SHOT FIRED FASTENINGS WITH 16mm WASHERS @ 600mm CRS, WITHIN 150mm EACH END OF PLATE. REFER TO BRACING PLAN FOR ADDITIONAL HOLD DOWN FIXINGS
STUD TO BOTTOM OR TOP PLATE:	3/90x3.15mm END NAILS + 2/WIREDOGS (OR ALTERNATIVE 4.7kN FIXINGS)
DWANG TO STUD	: 2/90x3.15mm SKEWED NAILS
HALF JOINT IN TOP PLATE	: 4/75x3.06mm SKEWED NAILS
LINTEL TO TRIMMING STUD	: 4/90x3.15mm SKEWED NAILS
SOFFIT RIBBON BOARD TO STUD:	3/90x3.15mm NAILS
SILL TRIMMER TO TRIMMING STUD:	TRIMMER NOT EXCEEDING 2400mm; 3/90x3.15mm END NAILS TRIMMER NOT EXCEEDING 3000mm; 5/90x3.15mm END NAILS TRIMMER NOT EXCEEDING 3600mm; 6/90x3.15mm END NAILS 2/90x3.15mm @ 500mm CRS
DOUBLE TOP PLATE TO TOP PLATE:	90x3.15mm NAILS @ 600mm CRS
TRIMMING STUDS AT OPENINGS, STUDS & BLOCKING AT WALL INTERSECTIONS:	2/90x3.15mm NAILS IMMEDIATELY UNDER LINTELS
TRIMMING STUD TO DOUBLING STUD:	REFER TO TRUSS DESIGN OR 2/90x3.15mm SKEW NAILS PLUS 2/WIREDOGS (ALT FIXING 4.7kN)
TRUSSES TO TOP PLATE	:

TRUSSES TO CEILING BATTENS:	2/75x3.15mm NAILS @ CEILING BATTEN CRS
TRUSSES TO PURLINS/BATTENS:	1/10G SELF DRILLING SCREW, 80mm LONG
OUTRIGGERS	TO BE FIXED AS PER NZS3604:2011 TABLE 10.18 & BRANZ BUILD 142
OUTRIGGER TO GABLE TRUSS/RAFTER:	CT200 BOTH SIDES FULLY NAILED WITH 30x3.15mm & 2/90x3.15 SKEW NAILS (3/90mm NAILS TO OUTRIGGERS TO SECOND TO LAST TRUSS OF GABLE END) 4/90x3.15mm @ EACH PURLIN/OUTRIGGER FOR THE FIRST 4 PURLINS EACH SIDE OF GABLE THEN FIX OUTER FLY RAFTER WITH 90x3.15mm NAILS @ 150mm CRS STAGGERED.
OUTRIGGER TO FLYING RAFTER:	4/90x3.15mm SKEWED NAILS
OUTRIGGER DWANG TO TOP PLATE:	

SCHEDULE OF FRAMING TIMBER GRADING & TREATMENT

WALL FRAMING	:	EXTERIOR WALLS & LINTELS: SG8, H1.2, PINUS RADIATA INTERIOR WALLS: SG8, H1.2, PINUS RADIATA BOTTOM PLATE & TOP PLATE: SG8, H1.2, PINUS RADIATA SG8, H3.2, PINUS RADIATA
CAVITY BATTENS	:	ROOF TRUSSES - TYPICAL: SG8, H1.2, PINUS RADIATA
ROOF FRAMING	:	GABLE END TRUSS: SG8, H1.2, PINUS RADIATA PURLINS/BATTENS: SG8, H1.2, PINUS RADIATA VALLEY BOARDS, BARGE BOARDS: SG8, H1.2, PINUS RADIATA FRAMING AND REVEALS: DRESSED, H3.1, PINUS RADIATA
WINDOWS	:	



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	
LUMBERLOK STRIP	
ROOF BRACING	
GUTTER FALL	

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

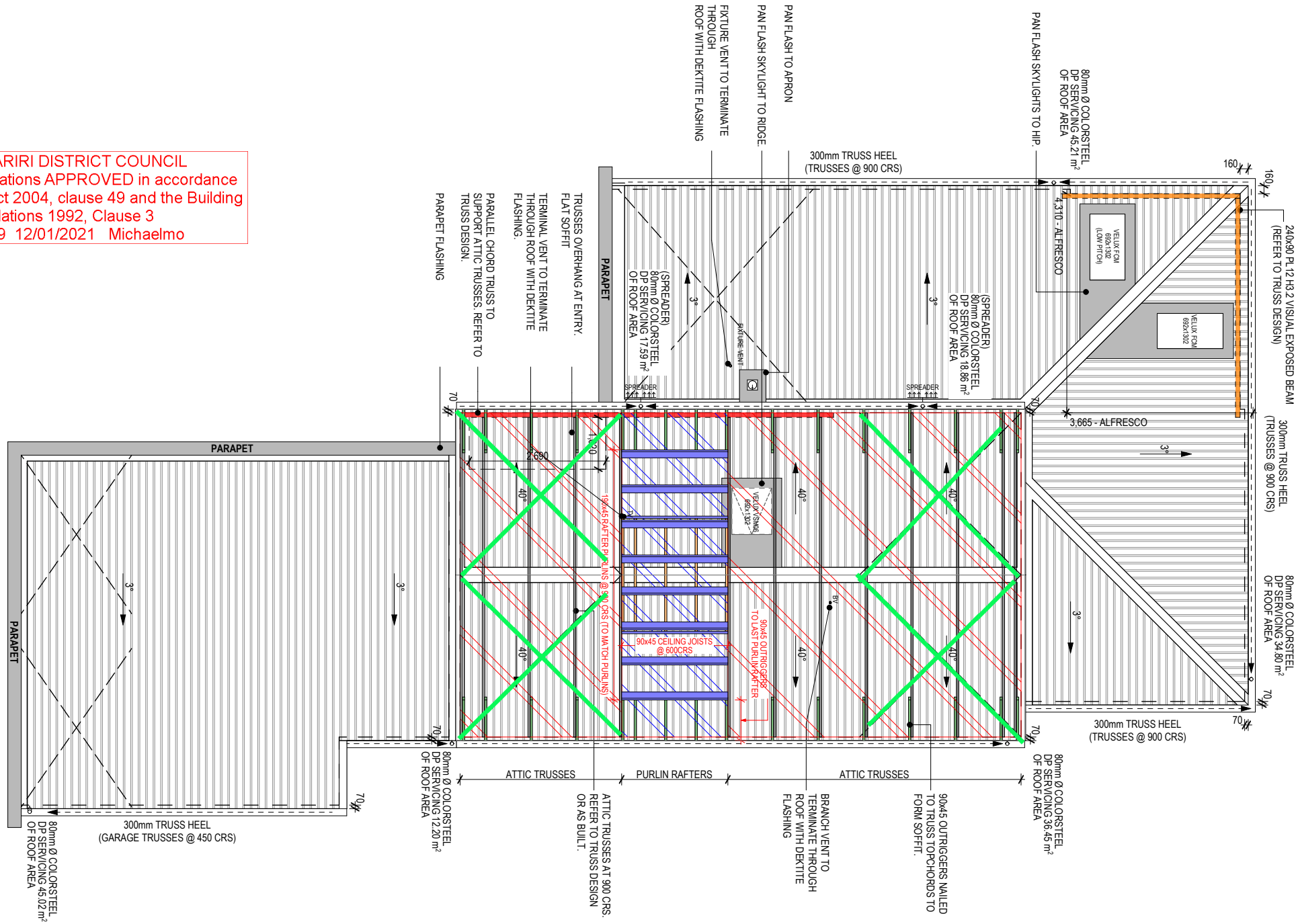
DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A2.05

ROOF PLAN

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



GENERAL NOTES

ROOF PITCH	: 40°, 3°
EAVE WIDTH	: 70mm (TO SUIT CLADDING)
GABLE WIDTH	: 70mm (TO SUIT CLADDING)
PITCHING HEIGHT	: 2455mm TO GF
HEEL HEIGHT	: 300mm TO 3 DEGREE TRUSSES
SOFFIT TYPE	: FLAT
RAKING CEILING	: ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING	: N/A

CONSTRUCTION NOTES

ROOF STRUCTURE	: PREFABRICATED TRUSSES
FASCIA	: 185mm COLORSTEEL, NO FASCIA TO GABLE END ROOF
SPOUTING	: PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS
DOWNPIPES	: 80mm ROUND COLORSTEEL DPS

CONSTRUCTION NOTES

ROOF STRUCTURE	: PREFABRICATED NAIL PLATE TRUSSES 70x45mm H1.2 PURLINS @ 600mm CRS TOP & BOTTOM, @ 900mm CRS MAX TO BODY ROOF BRACING BY TRUSS DESIGNER
ROOF CLADDING	: 0.4mm BMT COLORSTEEL LONGRUN TRIMLINE ROOFING ON SELF SUPPORTING UNDERLAY, FIX TO PURLINS WITH 1/10g x 80mm SELF DRILLING SCREW
SOFFIT	: SELECTED 4.5mm SOFFIT LINING
OUTRIGGERS	: 70x45mm H1.2 PURLINS @ 900mm CRS, CANTILEVERED 70mm FOR 70mm OVERHANG/EAVE WIDTH, SPAN BACK OVER 3x TRUSSES MIN.
FLASHINGS	: ALL ROOF PENETRATIONS SHALL BE FLASHED AS PER NZBC E2/AS1 EXTERNAL MOISTURE SECTION 8.4 PROFILED METAL ROOF CLADDING (8.4.17 ROOF PENETRATIONS) AS SHOWN IN FIGURE 53 & 54. ALL FLASHINGS TO BE 0.55 BMT COLORSTEEL FIXED IN ACCORDANCE WITH NZS3604:2011 & MEETING THE DURABILITY REQUIREMENTS OF NZBC E2/AS1 TABLE 20.21.22
SKYLIGHTS	: REFER TO SUPPORTING DOCS FOR SKYLIGHT DETAILS.

FIXING NOTES

TRUSSES TO TOP PLATE	: REFER TO TRUSS DESIGN OR 2/90x3.15mm SKEW NAILS PLUS 2/WIREDOGS (ALT FIXING 4.7kN)
TRUSSES TO CEILING BATTENS:	2/75x3.15mm NAILS @ CEILING BATTEN CRS
TRUSSES TO PURLINS/BATTENS:	1/10G SELF DRILLING SCREW, 80mm LONG
STANDARD SOFFIT STRINGER TO STUD:	2/90x3.15mm NAILS
OUTRIGGERS	: TO BE FIXED AS PER NZS3604:2011 TABLE 10.18 & BRANZ BUILD 142
OUTRIGGER TO GABLE TRUSS/RAFTER:	CT200 BOTH SIDES FULLY NAILED WITH 30x3.15mm & 2/90x3.15 SKEW NAILS (JOIST HANGERS TO OUTRIGGERS TO SECOND TO LAST TRUSS OF THE GABLE)
OUTRIGGER TO FLYING RAFTER:	4/90x3.15mm @ EACH PURLIN/OUTRIGGER FOR THE FIRST 4 PURLINS EACH SIDE OF GABLE THEN FIX OUTER FLY RAFTER WITH 90x3.15mm NAILS @ 150mm CRS STAGGERED.
OUTRIGGER DWANG TO TOP PLATE:	4/90x3.15mm SKEWED NAILS



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	

BRACING LABEL	
ELEMENT NUMBER	ELEMENT LENGTH
A1/GS1-1.2M	
BRACING TYPE	

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

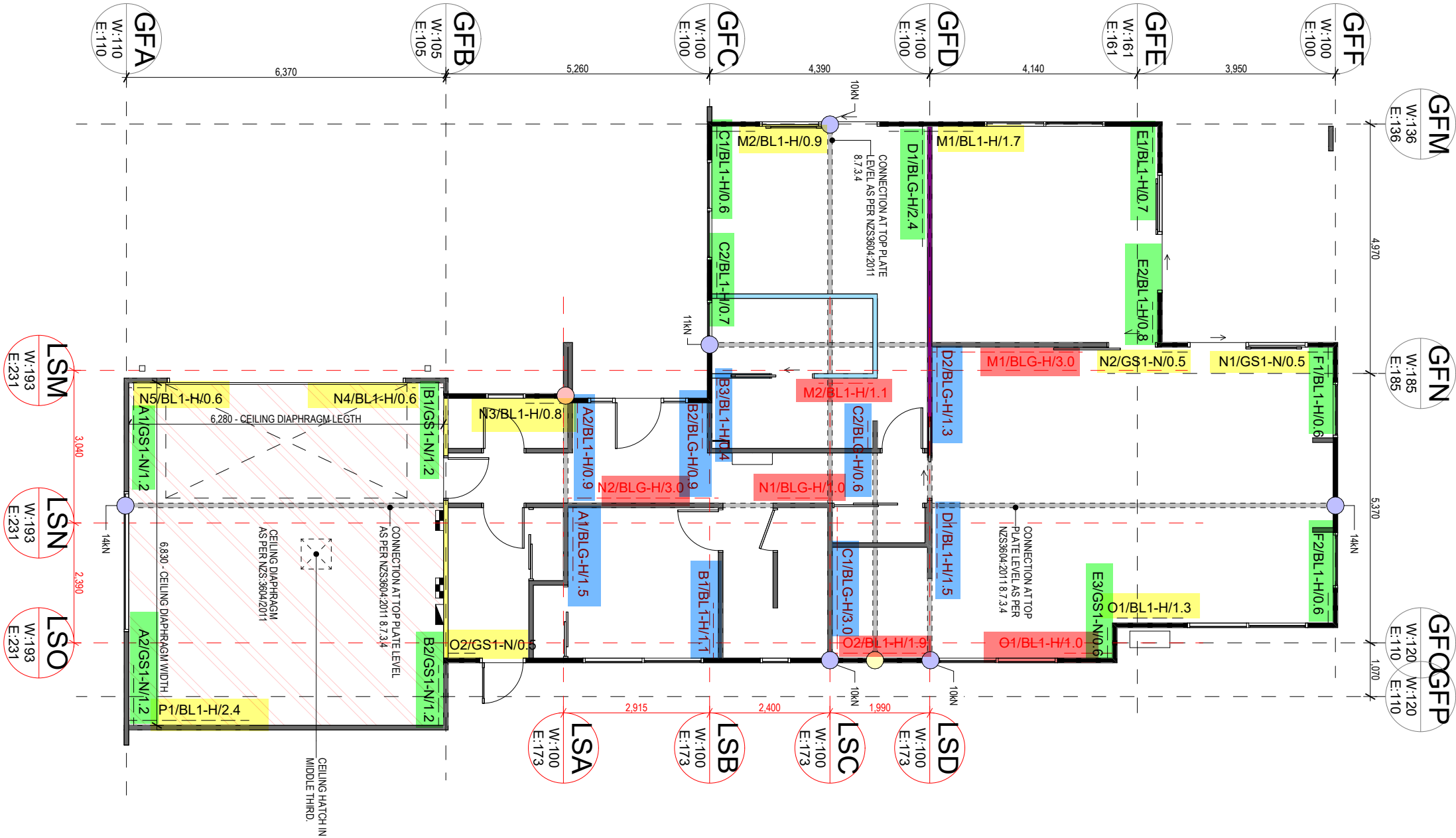
DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A2.06

BRACING PLAN : GF

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



BRACING NOTES

TOP PLATE	:	WHERE THE DISTANCE BETWEEN BRACING LINES AT RIGHT ANGLES TO THE PLATE IS BETWEEN 5.0m & 6.0m, THE 90x45mm TOP PLATE SHALL BE STRENGTHENED BY THE ADDITION OF A 140x35mm PLATE OF AT LEAST THE SAME GRADE AS THE TOP PLATE. REFER TO NZS 3604:2011, 8.7.4.2.
FIXING	:	ANY INTERIOR WALL WITH A BRACING ELEMENT TO BE CONNECTED AT TOP PLATE LEVEL TO EXTERIOR WALL EITHER DIRECTLY OR THROUGH A FRAMING MEMBER (INCLUDES TRUSS BOTTOM CHORD) IN THE LINE OF THE WALL AS PER NZS3604:2011 8.7.3.4
	:	6kN CONNECTION WHERE BU'S NOT MORE THAN 125, FIX WITH 6/30x3.15mm NAILS PER SIDE - (FIX TO ONE EXTERNAL WALL)
	:	x2 6kN CONNECTION WHERE BU'S NOT MORE THAN 250, FIX WITH 6/30x3.15mm NAILS PER SIDE - (FIX TO TWO EXTERNAL WALLS)
	:	WALLS WITH BU'S GREATER THAN 250, FIX WITH 2.4kN PER 100 BU'S - (FIX TO TWO EXTERNAL WALLS)

BRACING NOTES

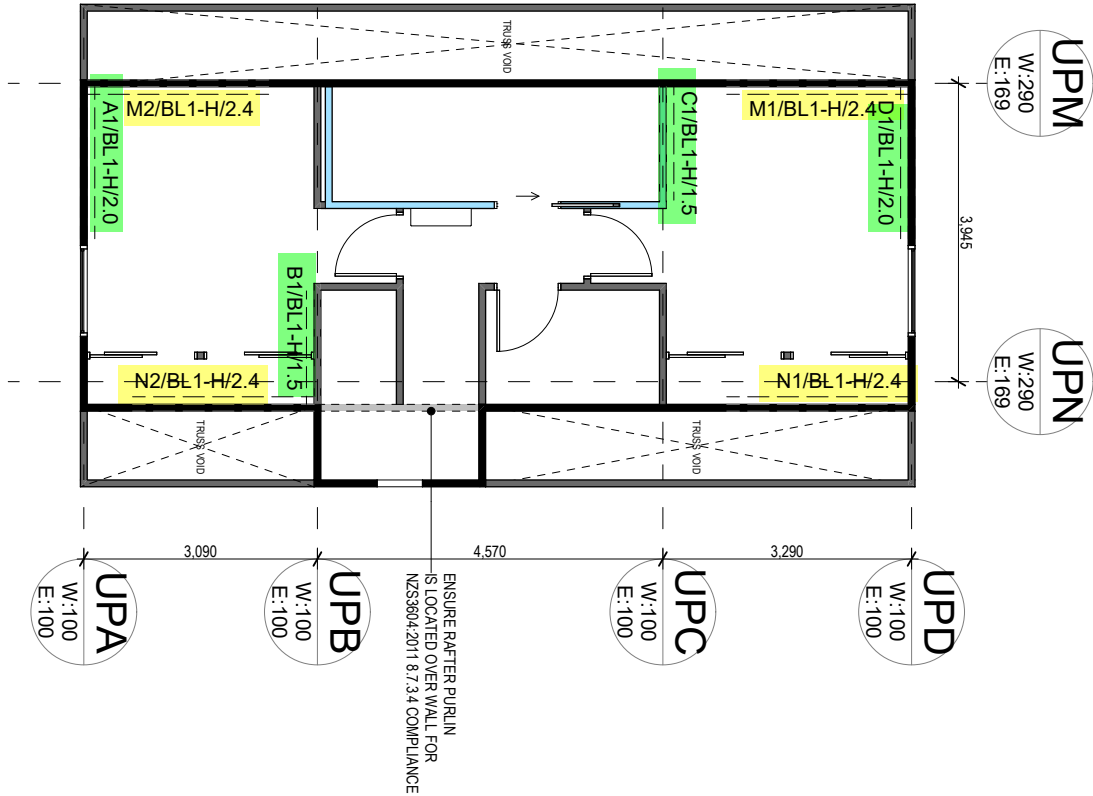
OPENINGS	:	OPENINGS ARE ALLOWED WITHIN THE MIDDLE THIRD OF A BRACING ELEMENT'S LENGTH & HEIGHT. NEITHER OPENING DIMENSION SHALL BE MORE THAN ONE THIRD OF THE ELEMENT HEIGHT. WALL LININGS ARE FIXED TO OPENING TRIMMERS @ 150mm CRS. SMALL OPENINGS (E.G. POWER OUTLETS) OF 90x90mm OR LESS MAY BE PLACED NO CLOSER THAN 90mm TO THE EDGE OF THE BRACED ELEMENT.
ECOPLY BRACING	:	REFER TO SUPPORTING DOCUMENTS FOR ECOPLY FIXING REQUIREMENTS. TREATMENT TO BE A MINIMUM OF H3.2.
PLY BRACING	:	WHERE EXTERIOR PLY BRACING ELEMENTS ARE USED & NOT CONTINUED THE ENTIRE LENGTH OF THE WALL, ALLOW TO PACK OUT THE REST OF THE CAVITY BATTENS TO ACHIEVE AN EVEN CAVITY FOR THE SELECTED CLADDING.

BRACING TYPES

GS1	:	0.4m MIN LENGTH. ANY 10mm OR 13mm GIB STANDARD PLASTERBOARD FIXED TO ONE SIDE ONLY
EP1	:	0.6m MIN LENGTH. 7mm ECOPLY FIXED TO EXTERIOR SIDE OF THE WALL FRAMING, GIB HANDIBRACS TO EACH END OF BRACING ELEMENT
BL1	:	0.4m MIN LENGTH. 10mm OR 13mm GIB BRACELINE PLASTERBOARD FIXED TO ONE SIDE ONLY. GIB HANDIBRACS TO EACH END OF BRACING ELEMENT.
BLG	:	0.4m MIN LENGTH. 10mm OR 13mm GIB BRACELINE PLASTERBOARD FIXED TO ONE SIDE WITH GIB STANDARD TO THE OTHER. GIB HANDIBRACS TO EACH END OF BRACING ELEMENT.



WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



BRACING NOTES

TOP PLATE	:	WHERE THE DISTANCE BETWEEN BRACING LINES AT RIGHT ANGLES TO THE PLATE IS BETWEEN 5.0m & 6.0m, THE 90x45mm TOP PLATE SHALL BE STRENGTHENED BY THE ADDITION OF A 140x35mm PLATE OF AT LEAST THE SAME GRADE AS THE TOP PLATE. REFER TO NZS 3604:2011, 8.7.4.2.
FIXING	:	ANY INTERIOR WALL WITH A BRACING ELEMENT TO BE CONNECTED AT TOP PLATE LEVEL TO EXTERIOR WALL EITHER DIRECTLY OR THROUGH A FRAMING MEMBER (INCLUDES TRUSS BOTTOM CHORD) IN THE LINE OF THE WALL AS PER NZS3604:2011 8.7.3.4
		6kN CONNECTION WHERE BU'S NOT MORE THAN 125, FIX WITH 6/30x3.15mm NAILS PER SIDE - (FIX TO ONE EXTERNAL WALL)
		x2 6kN CONNECTION WHERE BU'S NOT MORE THAN 250, FIX WITH 6/30x3.15mm NAILS PER SIDE - (FIX TO TWO EXTERNAL WALLS)
		WALLS WITH BU'S GREATER THAN 250, FIX WITH 2.4kN PER 100 BU'S - (FIX TO TWO EXTERNAL WALLS)

BRACING NOTES

OPENINGS	:	OPENINGS ARE ALLOWED WITHIN THE MIDDLE THIRD OF A BRACING ELEMENT'S LENGTH & HEIGHT. NEITHER OPENING DIMENSION SHALL BE MORE THAN ONE THIRD OF THE ELEMENT HEIGHT. WALL LININGS ARE FIXED TO OPENING TRIMMERS @ 150mm CRS. SMALL OPENINGS (E.G. POWER OUTLETS) OF 90x90mm OR LESS MAY BE PLACED NO CLOSER THAN 90mm TO THE EDGE OF THE BRACED ELEMENT.
ECOPLY BRACING	:	REFER TO SUPPORTING DOCUMENTS FOR ECOPLY FIXING REQUIREMENTS. TREATMENT TO BE A MINIMUM OF H3.2.
PLY BRACING	:	WHERE EXTERIOR PLY BRACING ELEMENTS ARE USED & NOT CONTINUED THE ENTIRE LENGTH OF THE WALL, ALLOW TO PACK OUT THE REST OF THE CAVITY BATTENS TO ACHIEVE AN EVEN CAVITY FOR THE SELECTED CLADDING.

BRACING TYPES

GS1	:	0.4m MIN LENGTH. ANY 10mm OR 13mm GIB STANDARD PLASTERBOARD FIXED TO ONE SIDE ONLY
EP1	:	0.6m MIN LENGTH. 7mm ECOPLY FIXED TO EXTERIOR SIDE OF THE WALL FRAMING, GIB HANDIBRACS TO EACH END OF BRACING ELEMENT
BL1	:	0.4m MIN LENGTH. 10mm OR 13mm GIB BRACELINE PLASTERBOARD FIXED TO ONE SIDE ONLY. GIB HANDIBRACS TO EACH END OF BRACING ELEMENT.
BLG	:	0.4m MIN LENGTH. 10mm OR 13mm GIB BRACELINE PLASTERBOARD FIXED TO ONE SIDE WITH GIB STANDARD TO THE OTHER. GIB HANDIBRACS TO EACH END OF BRACING ELEMENT.



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
GULLY TRAP	
HOSE TAP	
DOWNPIPE	
INT HEAT PUMP	
EXT HEAT PUMP	
GAS BOTTLES	
GAS METER	
GAS CALIFONT	

BRACING LABEL		
ELEMENT NUMBER		ELEMENT LENGTH
	A1/GS1/1.2M	
BRACING TYPE		

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A2.07
 BRACING PLAN : FF

BRACING CALCULATIONS

			TABLE: GF - GROUND FLOOR		
Location of Storey	<i>Single</i>	Wind Zone		<i>High</i>	
Room in Roof Space	<i>No</i>	Earthquake Zone		<i>2</i>	
Building Width (BW)	<i>13.0m</i>	Soil Class		<i>D - Deep or Soft</i>	
Building Length (BL)	<i>21.3m</i>				
Gross Floor Area (GFA)	<i>122.3m2</i>	W along		<i>45BU/m</i>	
Floor Height to Apex	<i>4m</i>	W along x BW		<i>585BU</i>	
Roof Height Above Eaves	<i>1m</i>	W across		<i>45BU/m</i>	
Roof Pitch	<i>0 - 25°</i>	W across x BL		<i>960BU</i>	
Roof Style	<i>Monopitch</i>				
Double Top Plate	<i>Yes</i>	EQ		<i>7BU/m2</i>	
Floor Load	<i>2kPa</i>	EQ x GFA		<i>881BU</i>	
Cladding Weights:					
- Subfloor	<i>Concrete Floor</i>				
- Wall	<i>Heavy</i>				
- Roof	<i>Light</i>				
Calculations based on <i>NZS3604:2011</i>					

BRACING ALONG

Required			Provided							Achieved	
Line	W BU	EQ BU	Brace	Type	W BU/m	EQ BU/m	Length m	Height m	Angle	W BU	EQ BU
GFA	110	110	A-1	GS1-N	70	60	1.2	2.4	-	84	72
			A-2	GS1-N	70	60	1.2	2.4	-	84	72
										168	144
GFB	105	105	B-1	GS1-N	70	60	1.2	2.4	-	84	72
			B-2	GS1-N	70	60	1.2	2.4	-	84	72
										168	144
GFC	100	100	C-1	BL1-H	90	100	0.6	2.4	-	54	60
			C-2	BL1-H	90	100	0.7	2.4	-	65	72
										119	132
GFD	100	100	D-1	BLG-H	150	145	2.4	2.4	-	360	348
										360	348
GFE	161	161	E-1	BL1-H	90	100	0.7	2.4	-	67	74
			E-2	BL1-H	90	100	0.8	2.4	-	73	81
			E-3	GS1-N	50	55	0.6	2.4	-	30	34
										170	189
GFF	100	100	F-1	BL1-H	90	100	0.6	2.4	-	54	60
			F-2	BL1-H	90	100	0.6	2.4	-	54	60
										108	120
Total									Achieved	1093	1077
									Required	585	881

BRACING ACROSS

Required			Provided							Achieved	
Line	W BU	EQ BU	Brace	Type	W BU/m	EQ BU/m	Length m	Height m	Angle	W BU	EQ BU
GFM	136	136	M-1	BL1-H	125	105	1.7	2.4	-	210	176
			M-2	BL1-H	90	100	0.9	2.4	-	77	86
										287	262
GFN	185	185	N-1	GS1-N	50	55	0.5	2.3	-	25	28
			N-2	GS1-N	50	55	0.5	2.3	-	25	28
			N-3	BL1-H	90	100	0.8	2.3	-	76	84
			N-4	BL1-H	90	100	0.6	2.3	-	56	63
			N-5	BL1-H	90	100	0.6	2.3	-	56	63
										239	265
GFO	120	110	O-1	BL1-H	125	105	1.3	2.4	-	164	138
			O-2	GS1-N	50	55	0.5	2.4	-	27	30
										191	168
GFP	120	110	P-1	BL1-H	125	105	2.4	2.4	-	300	252
										300	252
Total									Achieved	1018	947
									Required	960	881

BRACING CALCULATIONS

			TABLE: LS - LOWER STORY		
Location of Storey	<i>Lower of Two</i>	Wind Zone		<i>High</i>	
Room in Roof Space	<i>No</i>	Earthquake Zone		<i>2</i>	
Roof Width (RW)	<i>6.4m</i>	Soil Class		<i>D - Deep or Soft</i>	
Roof Length (RL)	<i>11.0m</i>				
Gross Floor Area (GFA)	<i>66.7m2</i>	W along		<i>80BU/m</i>	
Lower floor level to apex	<i>7m</i>	W along x RW		<i>510BU</i>	
Roof Height Above Eaves	<i>4m</i>	W across		<i>105BU/m</i>	
Roof Pitch	<i>26 - 45°</i>	W across x RL		<i>1159BU</i>	
Roof Style	<i>Gable</i>				
Double Top Plate	<i>Yes</i>	EQ		<i>21BU/m2</i>	
Floor Load	<i>2kPa</i>	EQ x GFA		<i>1387BU</i>	
Cladding Weights:					
- Subfloor	<i>Concrete Floor</i>				
- Lower Floor	<i>Heavy</i>				
- Upper Floor	<i>Medium</i>				
- Roof	<i>Light</i>				
Calculations based on <i>NZS3604:2011</i>					

BRACING ALONG

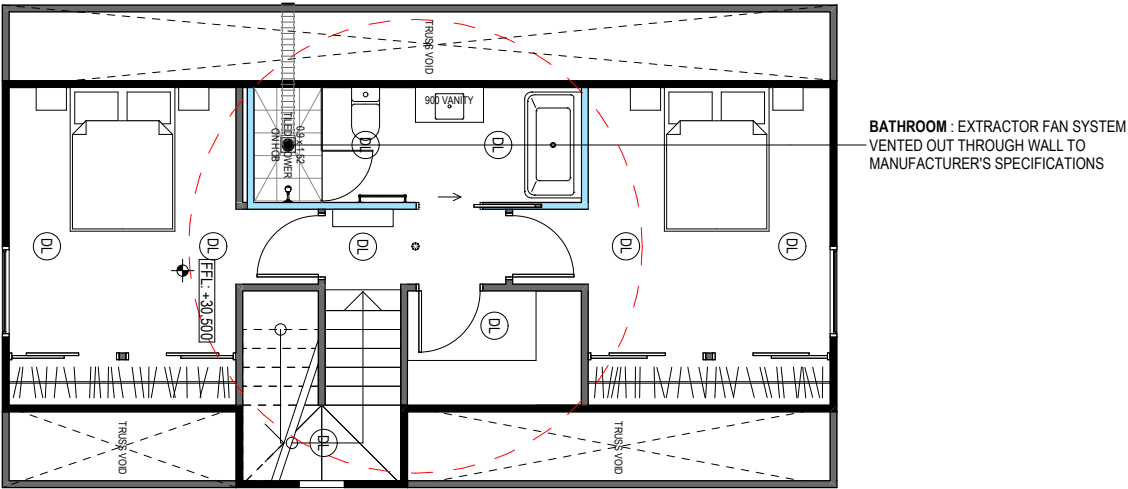
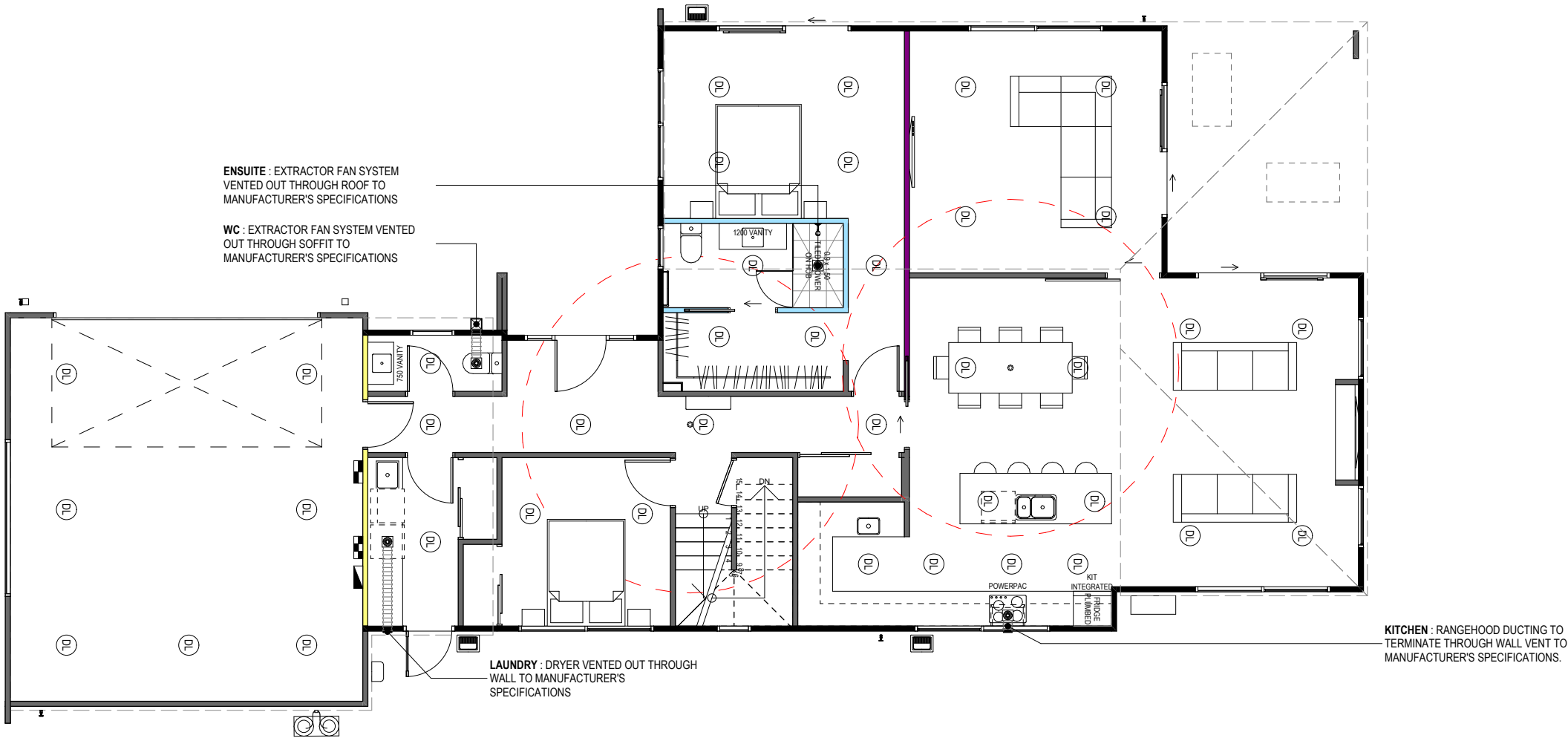
Required			Provided							Achieved	
Line	W BU	EQ BU	Brace	Type	W BU/m	EQ BU/m	Length m	Height m	Angle	W BU	EQ BU
LSA	100	173	A-1	BLG-H	150	145	1.5	2.4	-	218	211
			A-2	BL1-H	90	100	0.9	2.4	-	82	91
										300	302
LSB	100	173	B-1	BL1-H	90	100	1.1	2.4	-	99	110
			B-2	BLG-H	110	115	0.9	2.4	-	100	105
			B-3	BL1-H	90	100	0.4	2.4	-	36	40
							235	255			
LSC	100	173	C-1	BLG-H	150	145	3.0	2.4	-	450	435
			C-2	BLG-H	110	115	0.6	2.4	-	61	63
										511	498
LSD	100	173	D-1	BL1-H	125	105	1.5	2.4	-	188	158
			D-2	BLG-H	150	145	1.3	2.4	-	195	189
										383	346
Total									Achieved	1428	1401
									Required	510	1387

BRACING ACROSS

Required			Provided							Achieved	
Line	W BU	EQ BU	Brace	Type	W BU/m	EQ BU/m	Length m	Height m	Angle	W BU	EQ BU
LSM	193	231	M-1	BLG-H	150	145	3.0	2.4	-	450	435
			M-2	BL1-H	90	100	1.1	2.4	-	97	108
										547	543
LSN	193	231	N-1	BLG-H	110	115	1.0	2.4	-	110	115
			N-2	BLG-H	150	145	3.0	2.4	-	450	435
										560	550
LSO	193	231	O-1	BL1-H	90	100	1.0	2.4	-	86	96
			O-2	BL1-H	125	105	1.9	2.4	-	238	200
										324	296
Total									Achieved	1431	1389
									Required	1159	1387

BRACING CALCULATIONS

Location of Storey	Upper of Two	Wind Zone	High
Room in Roof Space	No	Earthquake Zone	2
Roof Width (RW)	6.4m	Soil Class	D - Deep or Soft
Roof Length (RL)	11.0m		
Gross Floor Area (GFA)	70.4m2	W along	80BU/m
Upper floor level to apex	7m	W along x RW	510BU
Roof Height Above Eaves	4m	W across	105BU/m
Roof Pitch	26 - 45°	W across x RL	1159BU
Roof Style	Gable		
Double Top Plate	Yes	EQ	10BU/m2
Floor Load	2kPa	EQ x GFA	676BU
Cladding Weights:			
- Subfloor	Concrete Floor		
- Lower Floor	Heavy		
- Upper Floor	Medium		
- Roof	Light		
		Calculations based on NZS3604:2011	



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

ELECTRICAL NOTES

- GENERAL** : ALLOW FOR SINGLE SWITCHED POWERPOINT FOR STANDARD APPLIANCES: FRIDGE, DISHWASHER, WASTE DISPOSAL, RANGEHOOD, HOB, OVEN ETC. REFER TO KITCHEN DESIGN FOR LAYOUT & POSITIONS OF KITCHEN AREA SOCKETS & APPLIANCES ETC.
ALL POWER POINTS ARE INDICATIVE ONLY & MUST BE CONFIRMED ON SITE LIGHTING & ELECTRICAL BY OTHERS, ALL POSITIONS AND TYPES TO BE SELECTED & CONFIRMED BY OWNER WITH CONTRACTOR UNLESS NOTED OTHERWISE
- INSTALLATION** : ALL ELECTRICAL INSTALLATIONS TO BE IN ACCORDANCE WITH NZECP 51:2001
- EARTHING** : MESH IN FLOOR SLAB MUST BE EARTHED, EARTH WITH 16mm REO ROD BROUGHT UP INTO GARAGE WALL BELOW METERBOX & WIRED TO MESH. AT PREWIRE, CONNECT A CLAMP & PIECE OF WIRE TO ROD & EARTH TO METERBOX.
- ILLUMINANCE** : TOTAL OF 20 LUX OF ILLUMINANCE FOR THE TOTAL WATTAGE REQUIRED PER m² OF FLOOR AREA AS SHOWN IN NZBC G8 / AS1 TABLE 1

ELECTRICAL NOTES

- DOWNLIGHTS** : WHERE DOWNLIGHTS ARE TO BE INSTALLED, ONLY CA 80, CA 135, IC OR IC-F DOWNLIGHTS ARE PERMITTED IN PRIVATE OR RENTAL DWELLINGS (NOTE THAT IC DOWNLIGHTS CAN ONLY BE USED WITH INSULATION THAT PASSES THE NEEDLE FLAME TEST OF AS/NZS 60598 2.2 CLAUSE 11.5)
RECESSED DOWNLIGHTS THAT ARE NOT LABELLED AS ABOVE ARE NOT PERMITTED TO BE INSTALLED INTO RESIDENTIAL BUILDINGS
CHECK THE INSULATION MANUFACTURERS INSTRUCTIONS TO ENSURE THEIR PRODUCT IS SAFE WHEN INSTALLED ALONGSIDE THE PROPOSED DOWNLIGHTS
- VENTILATION** : MECHANICAL VENTILATION IN HOUSING, MOISTURE SHALL BE VENTED OUTSIDE (INCLUDES WET AREAS & RANGEHOODS) REFER TO NZBC G4/AS1 1.3.C.II.O.
MECHANICAL VENTILATION TO BE 150 DIA 230 CU M/H INLINE FAN DUCTED TO SOFFIT. AUTO EXTRACTOR FANS SHALL TERMINATE THROUGH SOFFIT, FASCIA OR ROOF WITH AN EXTRACTION RATE AS PER NZBC G4
- SMOKE ALARMS** : ALL SMOKE ALARMS ARE TO COMPLY WITH NZBC F7 & COMPLY WITH AT LEAST ONE OF: AS 3786, ISO 12239 OR BS EN 14604
REQUIRED WITHIN 3m OF ALL SLEEPING AREAS, CHANGE IN LEVEL & ENTRY/EXITS AS PER NZS4514 & BRANZ BULLETINS NO'S 252 & 309

PLACEMENT NOTES

- POWERPOINTS** : TYPICALLY 300mm FROM CORNER & 300mm FROM FFL UNLESS OTHERWISE NOTED
POWERPOINTS IN WET AREAS TO BE 1200mm FROM FFL & VERTICALLY FIXED UNLESS OTHERWISE NOTED
POWERPOINTS IN KITCHEN TO BE 1000mm FROM FFL
POWERPOINTS IN LAUNDRY TO BE 1000mm FROM FFL
POWERPOINT FOR HEATER TO BE LOCATED 300mm BELOW FINISHED CEILING LEVEL
- LIGHT SWITCHES** : TYPICALLY 150mm FROM CORNER OR DOOR FRAME & 1200mm FROM FFL UNLESS OTHERWISE NOTED
- HWC** : SWITCH 300mm ABOVE FFL
- ALARM** : HOUSE TO BE WIRED FOR ALARM WITH KEY PAD @ ENTRANCE & GARAGE
- STAIRS** : ENSURE A TWO-WAY SWITCH IS INSTALLED AT TOP & BOTTOM OF STAIRS



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
METER BOARD	
DISTRIBUTION BOARD	
COMMS PANEL	
SMOKE DETECTOR	
HOT WATER CYLINDER	
VENT & DUCTING	
INT HEAT PUMP	
EXT HEAT PUMP	
DOWNLIGHT	

PROJECT DETAILS:
JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

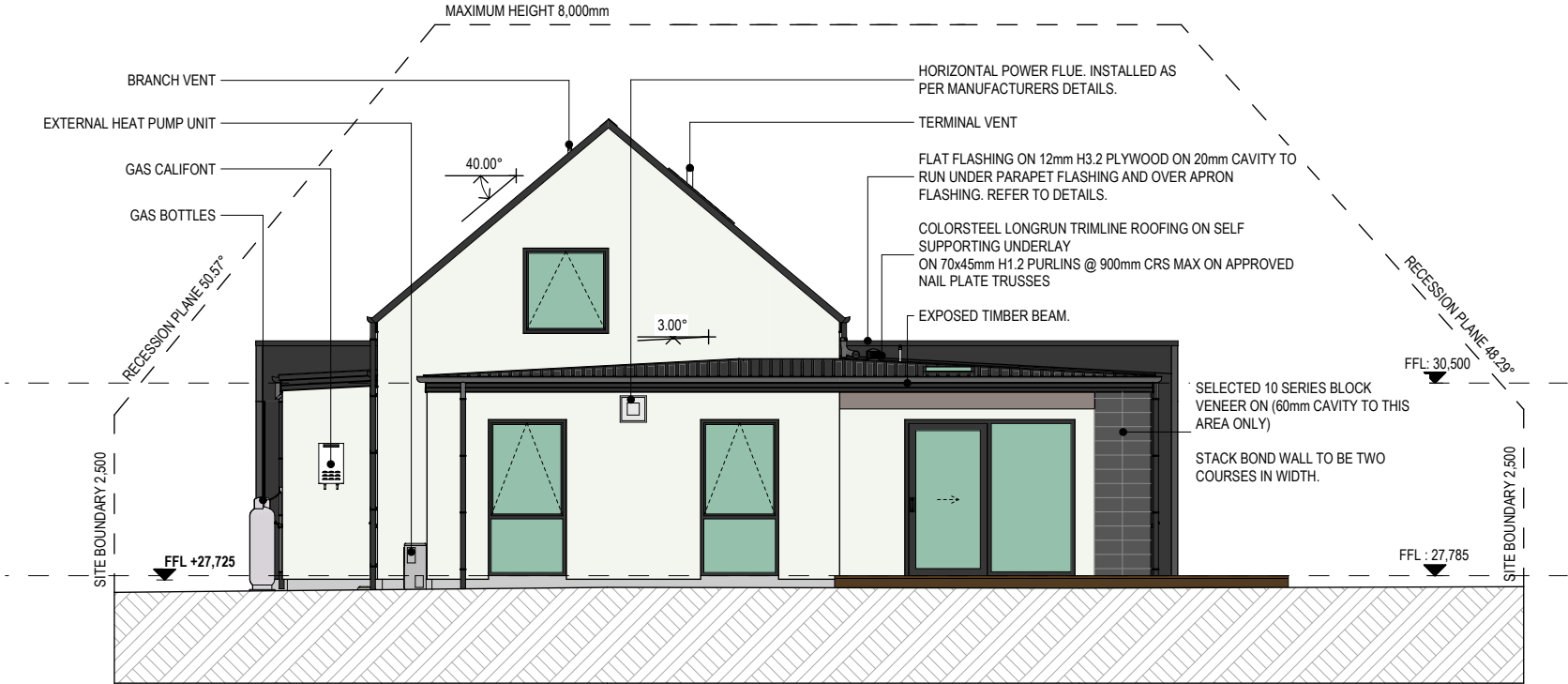
A2.09
ELECTRICAL PLAN : GF & FF

PROPOSED BUILDING R VALUES

ROOF	:	COLORSTEEL TRIMLINE ON 70x45mm H1.2 PURLINS @ 900mm CRS ON SELF-SUPPORTING ROOF UNDERLAY OVER PRE-FABRICATED TRUSSES @ 900mm CRS WITH R3.6 INSULATION
CONSTRUCTION R VALUE	:	3.23
WALLS	:	90 SERIES BLOCK VENEER ON 20mm CAVITY, 90x45 H1.2 SG8 FRAMING @ 400mm CRS, DWANGS @ 400mm CRS, 10mm STANDARD PLASTERBOARD WITH R2.6 INSULATION
CONSTRUCTION R VALUE	:	2.27
	:	50mm SPECIALIZED AAC PANEL ON 20mm CAVITY, 90x45 H1.2 SG8 FRAMING @ 600mm CRS, DWANGS @ 800mm CRS, 10mm STANDARD PLASTERBOARD WITH R2.6 INSULATION
CONSTRUCTION R VALUE	:	2.80
FLOOR	:	FLOOR SLAB ON GRADE (NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.)
CONSTRUCTION R VALUE	:	1.37
EXTERIOR JOURNERY	:	DOUBLE GLAZING (TOTAL GLAZING <30%)
CONSTRUCTION R VALUE	:	0.26

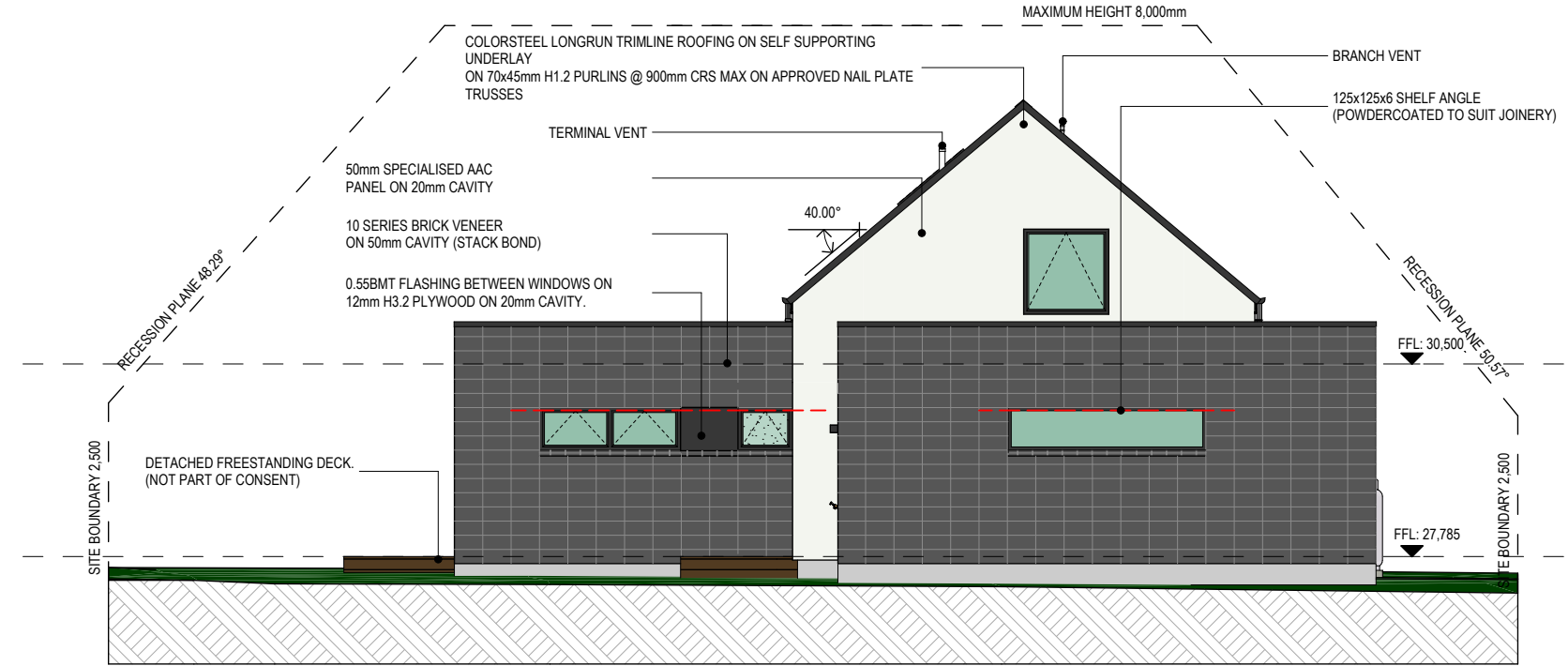
WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

BUILDING ENVELOPE RISK MATRIX		
WORST CASE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Medium risk	1
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	Very high risk	6
Deck design	Low risk	0
Total Risk Score:		18



DRAWING : NORTH ELEVATION

1:100



DRAWING : SOUTH ELEVATION

1:100



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS:
JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

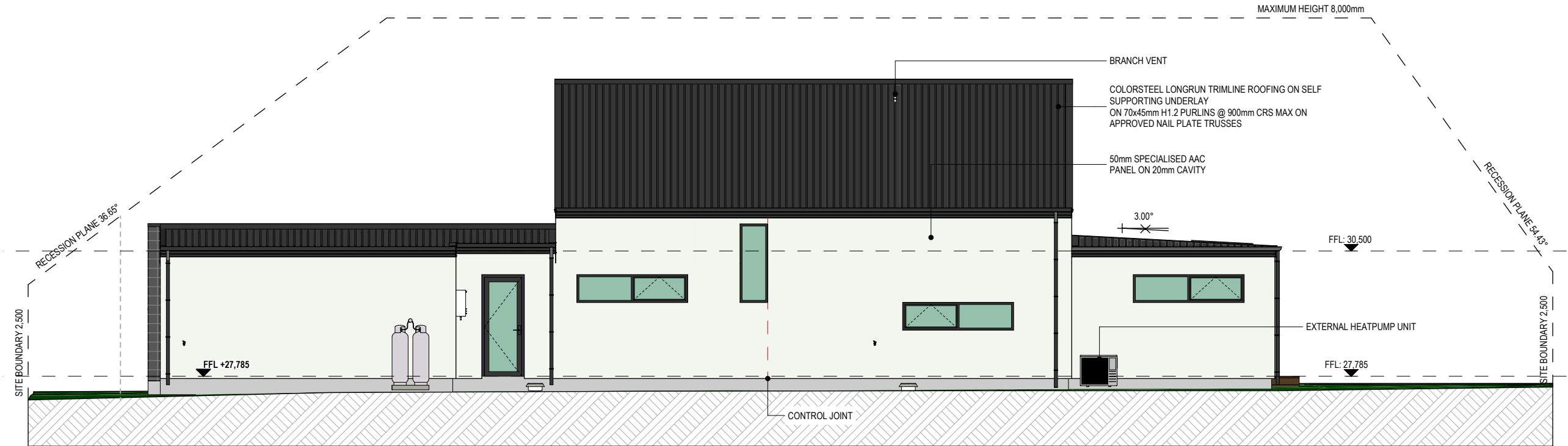
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
VERSION: 1.2D

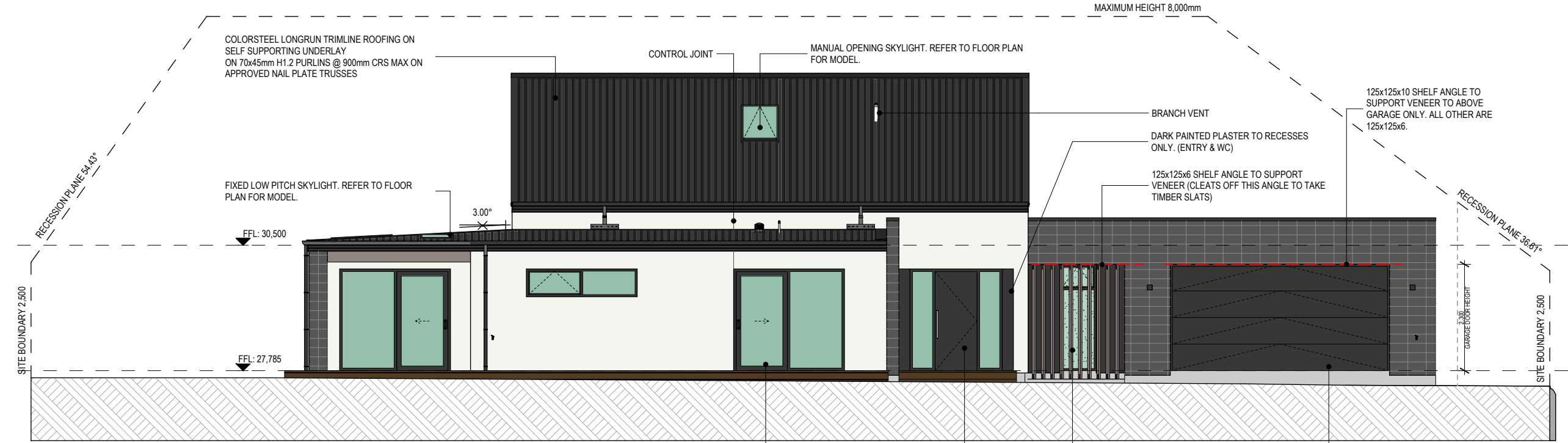
DATE: 11.01.2020
SCALE: 1:100

A3.01
ELEVATIONS



DRAWING : EAST ELEVATION
 1:100

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



DRAWING : WEST ELEVATION
 1:100



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
 DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
 PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
 SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK
 MAY BE REPRODUCED OR COPIED IN ANY FORM
 WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:100

A3.02
 ELEVATIONS

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

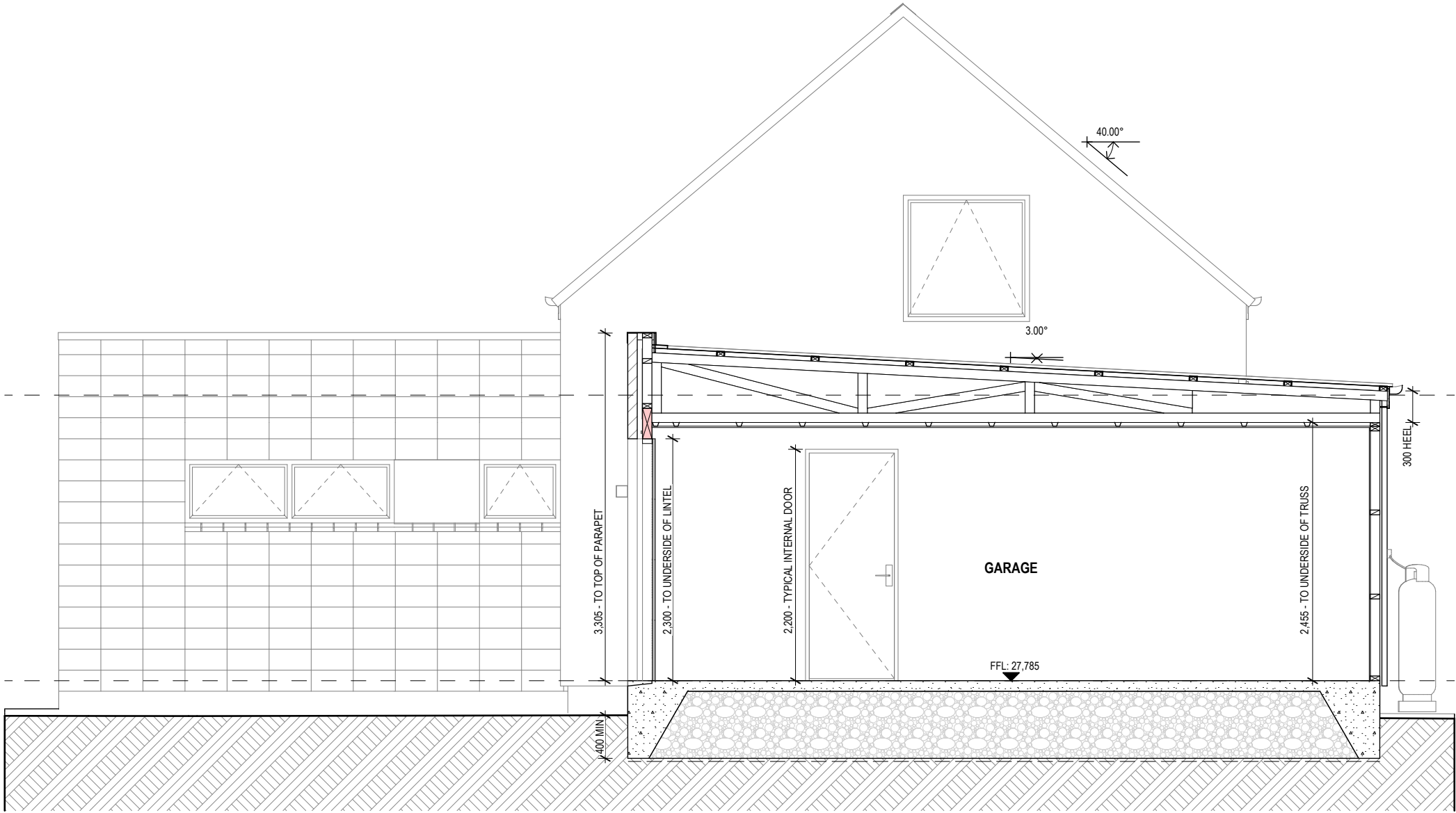


PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:50

A4.01

SECTION A

CONSTRUCTION NOTES

ENGINEERING	:	N/A
FOUNDATION	:	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.
WALL STRUCTURE	:	EXTERNAL: REFER TO KEY INTERNAL: REFER TO KEY
WALL CLADDING	:	50mm SPECIALISED AAC PANEL ON 20mm CAVITY 10 SERIES BLOCK VENEER ON 50mm CAVITY, STACK BOND COLORSTEEL 0.55BMT FLASHING ON 12mm PLYWOOD
INSULATION	:	R3.6 CEILING BATTS (SKILLION TO ATTIC TRUSS TOP CHORDS), TRIM TO MAINTAIN 25mm AIR GAP BETWEEN INSULATION & ROOF UNDERLAY & R2.6 WALL BATTS SELECTED SILENCER INSULATION TO MIDFLOOR. NO INSULATION TO GARAGE CEILING & EXTERIOR GARAGE WALLS/FULLY INSULATED GARAGE

CONSTRUCTION NOTES

LININGS	:	13mm GIB TO CEILINGS ON RONDO BATTENS @ 600mm CRS (RONDO ANGLE TO PERIMETER) 10mm GIB TO WALLS, AQUALINE GIB TO WET AREAS
EXTERNAL JOINERY	:	PC ALUMINIUM EXTERIOR JOINERY, DOUBLE GLAZING TO HABITABLE SPACES, ALL GLAZING TO COMPLY WITH NZS 4223
ROOF STRUCTURE	:	PREFABRICATED NAIL PLATE TRUSSES 70x45mm H1.2 PURLINS @ 600mm CRS TOP & BOTTOM, @ 900mm CRS MAX TO BODY ROOF BRACING BY TRUSS DESIGNER
ROOF CLADDING	:	0.4mm BMT COLORSTEEL LONGRUN TRIMLINE ROOFING ON SELF SUPPORTING UNDERLAY, FIX TO PURLINS WITH 1/10g x 80mm SELF DRILLING SCREW
SOFFIT	:	SELECTED 4.5mm SOFFIT LINING

GENERAL NOTES

ROOF PITCH	:	40°, 3°
EAVE WIDTH	:	70mm (TO SUIT CLADDING)
GABLE WIDTH	:	70mm (TO SUIT CLADDING)
PITCHING HEIGHT	:	2455mm TO GF
HEEL HEIGHT	:	300mm TO 3 DEGREE TRUSSES
LINTEL HEIGHT	:	REFER TO FLOOR PLAN NOTES.
SOFFIT TYPE	:	FLAT
RAKING CEILING	:	ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING	:	N/A
DOOR LEAF HEIGHT	:	O/H : 2200mm, STANDARD TO FF (ROBE SLIDERS 1900mm)
FASCIA	:	185mm COLORSTEEL, NO FASCIA TO GABLE END ROOF
SPOUTING	:	PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS
DOWNPIPES	:	80mm ROUND COLORSTEEL DPS

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

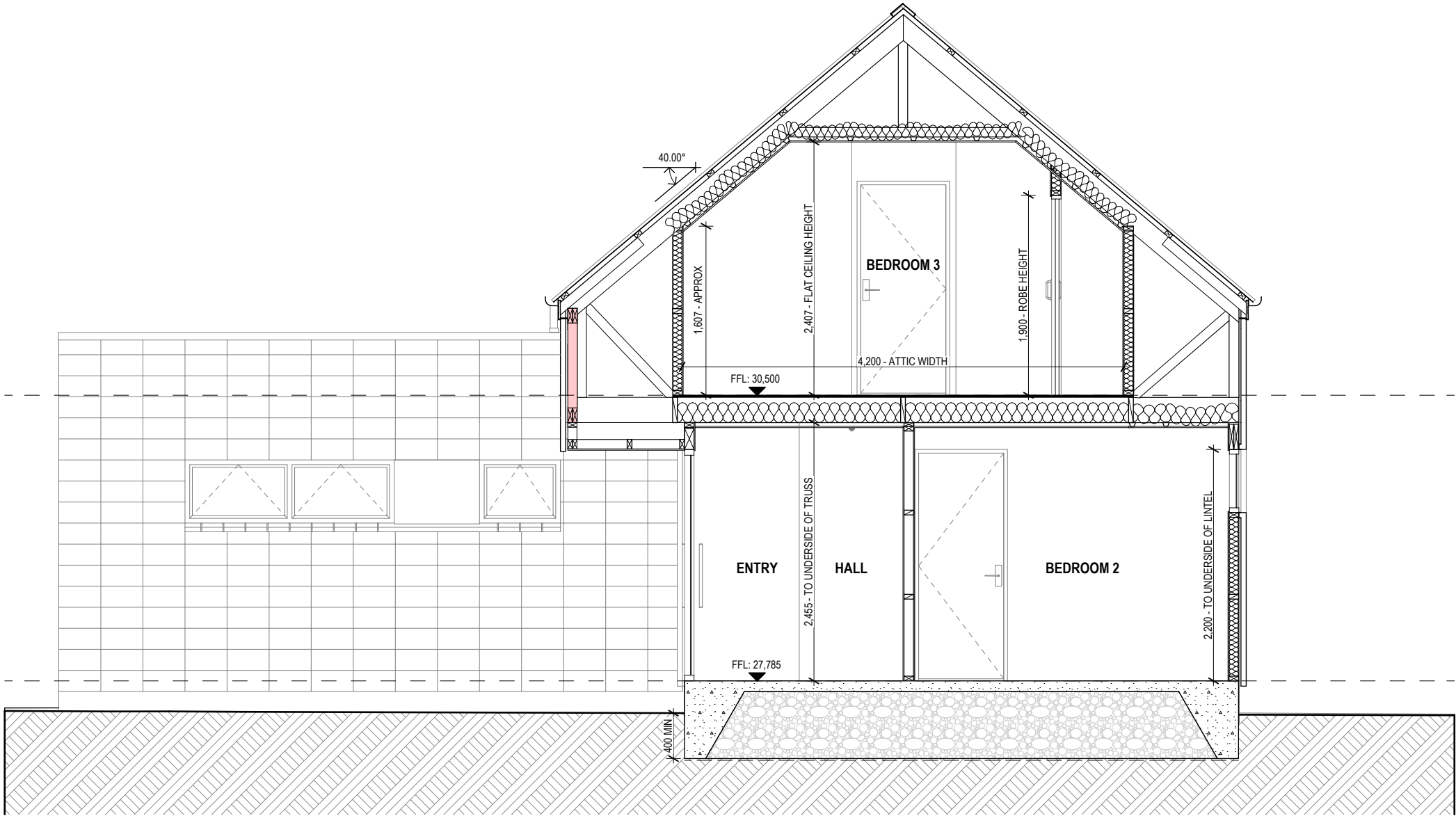


PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
-------------------------	------------------

DATE: 11.01.2020	SCALE: 1:50
---------------------	----------------

A4.02

SECTION B

CONSTRUCTION NOTES

ENGINEERING	:	N/A
FOUNDATION	:	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.
WALL STRUCTURE	:	EXTERNAL: REFER TO KEY INTERNAL: REFER TO KEY
WALL CLADDING	:	50mm SPECIALISED AAC PANEL ON 20mm CAVITY 10 SERIES BLOCK VENEER ON 50mm CAVITY, STACK BOND COLORSTEEL 0.55BMT FLASHING ON 12mm PLYWOOD
INSULATION	:	R3.6 CEILING BATTS (SKILLION TO ATTIC TRUSS TOP CHORDS), TRIM TO MAINTAIN 25mm AIR GAP BETWEEN INSULATION & ROOF UNDERLAY & R2.6 WALL BATTS SELECTED SILENCER INSULATION TO MIDFLOOR. NO INSULATION TO GARAGE CEILING & EXTERIOR GARAGE WALLS/FULLY INSULATED GARAGE

CONSTRUCTION NOTES

LININGS	:	13mm GIB TO CEILINGS ON RONDO BATTENS @ 600mm CRS (RONDO ANGLE TO PERIMETER) 10mm GIB TO WALLS, AQUALINE GIB TO WET AREAS
EXTERNAL JOINERY	:	PC ALUMINIUM EXTERIOR JOINERY, DOUBLE GLAZING TO HABITABLE SPACES, ALL GLAZING TO COMPLY WITH NZS 4223
ROOF STRUCTURE	:	PREFABRICATED NAIL PLATE TRUSSES 70x45mm H1.2 PURLINS @ 600mm CRS TOP & BOTTOM, @ 900mm CRS MAX TO BODY ROOF BRACING BY TRUSS DESIGNER
ROOF CLADDING	:	0.4mm BMT COLORSTEEL LONGRUN TRIMLINE ROOFING ON SELF SUPPORTING UNDERLAY, FIX TO PURLINS WITH 1/10g x 80mm SELF DRILLING SCREW
SOFFIT	:	SELECTED 4.5mm SOFFIT LINING

GENERAL NOTES

ROOF PITCH	:	40° 3°
EAVE WIDTH	:	70mm (TO SUIT CLADDING)
GABLE WIDTH	:	70mm (TO SUIT CLADDING)
PITCHING HEIGHT	:	2455mm TO GF
HEEL HEIGHT	:	300mm TO 3 DEGREE TRUSSES
LINTEL HEIGHT	:	REFER TO FLOOR PLAN NOTES.
SOFFIT TYPE	:	FLAT
RAKING CEILING	:	ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING	:	N/A
DOOR LEAF HEIGHT	:	O/H : 2200mm, STANDARD TO FF (ROBE SLIDERS 1900mm)
FASCIA	:	185mm COLORSTEEL, NO FASCIA TO GABLE END ROOF
SPOUTING	:	PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS
DOWNPIPES	:	80mm ROUND COLORSTEEL DPS

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

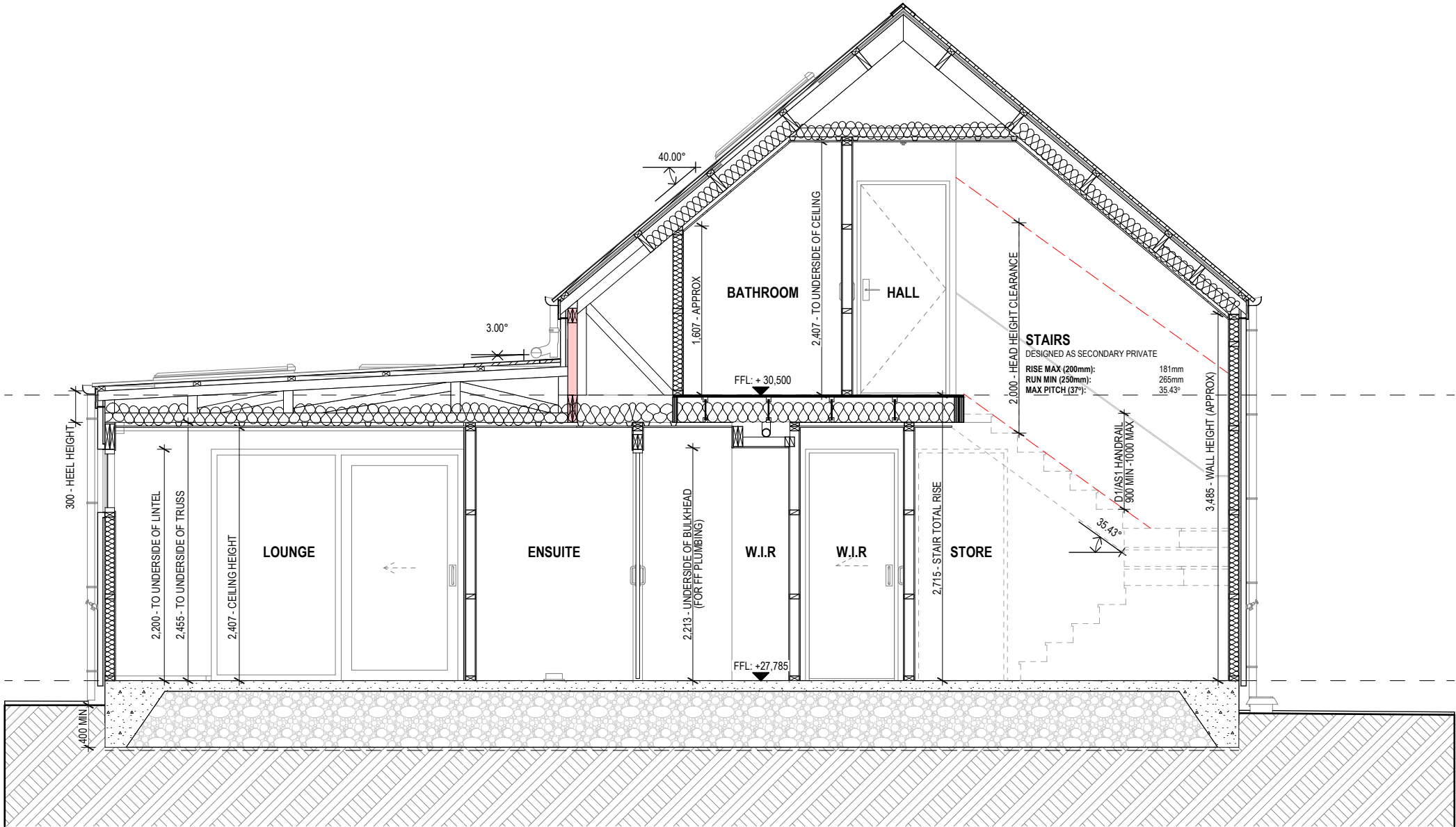


PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
MAY BE REPRODUCED OR COPIED IN ANY FORM
WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
VERSION: 1.2D

DATE: 11.01.2020
SCALE: 1:50

A4.03
SECTION C

CONSTRUCTION NOTES

ENGINEERING	:	N/A
FOUNDATION	:	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.
WALL STRUCTURE	:	EXTERNAL: REFER TO KEY INTERNAL: REFER TO KEY
WALL CLADDING	:	50mm SPECIALISED AAC PANEL ON 20mm CAVITY 10 SERIES BLOCK VENEER ON 50mm CAVITY, STACK BOND COLORSTEEL 0.55BMT FLASHING ON 12mm PLYWOOD
INSULATION	:	R3.6 CEILING BATTS (SKILLION TO ATTIC TRUSS TOP CHORDS), TRIM TO MAINTAIN 25mm AIR GAP BETWEEN INSULATION & ROOF UNDERLAY & R2.6 WALL BATTS SELECTED SILENCER INSULATION TO MIDFLOOR. NO INSULATION TO GARAGE CEILING & EXTERIOR GARAGE WALLS/FULLY INSULATED GARAGE

CONSTRUCTION NOTES

LININGS	:	13mm GIB TO CEILINGS ON RONDO BATTENS @ 600mm CRS (RONDO ANGLE TO PERIMETER) 10mm GIB TO WALLS, AQUALINE GIB TO WET AREAS
EXTERNAL JOINERY	:	PC ALUMINIUM EXTERIOR JOINERY, DOUBLE GLAZING TO HABITABLE SPACES, ALL GLAZING TO COMPLY WITH NZS 4223
ROOF STRUCTURE	:	PREFABRICATED NAIL PLATE TRUSSES 70x45mm H1.2 PURLINS @ 600mm CRS TOP & BOTTOM, @ 900mm CRS MAX TO BODY ROOF BRACING BY TRUSS DESIGNER
ROOF CLADDING	:	0.4mm BMT COLORSTEEL LONGRUN TRIMLINE ROOFING ON SELF SUPPORTING UNDERLAY, FIX TO PURLINS WITH 1/10g x 80mm SELF DRILLING SCREW
SOFFIT	:	SELECTED 4.5mm SOFFIT LINING

GENERAL NOTES

ROOF PITCH	:	40°, 3°
EAVE WIDTH	:	70mm (TO SUIT CLADDING)
GABLE WIDTH	:	70mm (TO SUIT CLADDING)
PITCHING HEIGHT	:	2455mm TO GF
HEEL HEIGHT	:	300mm TO 3 DEGREE TRUSSES
LINTEL HEIGHT	:	REFER TO FLOOR PLAN NOTES.
SOFFIT TYPE	:	FLAT
RAKING CEILING	:	ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING	:	N/A
DOOR LEAF HEIGHT	:	O/H : 2200mm, STANDARD TO FF (ROBE SLIDERS 1900mm)
FASCIA	:	185mm COLORSTEEL, NO FASCIA TO GABLE END ROOF
SPOUTING	:	PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS
DOWNPIPES	:	80mm ROUND COLORSTEEL DPS

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

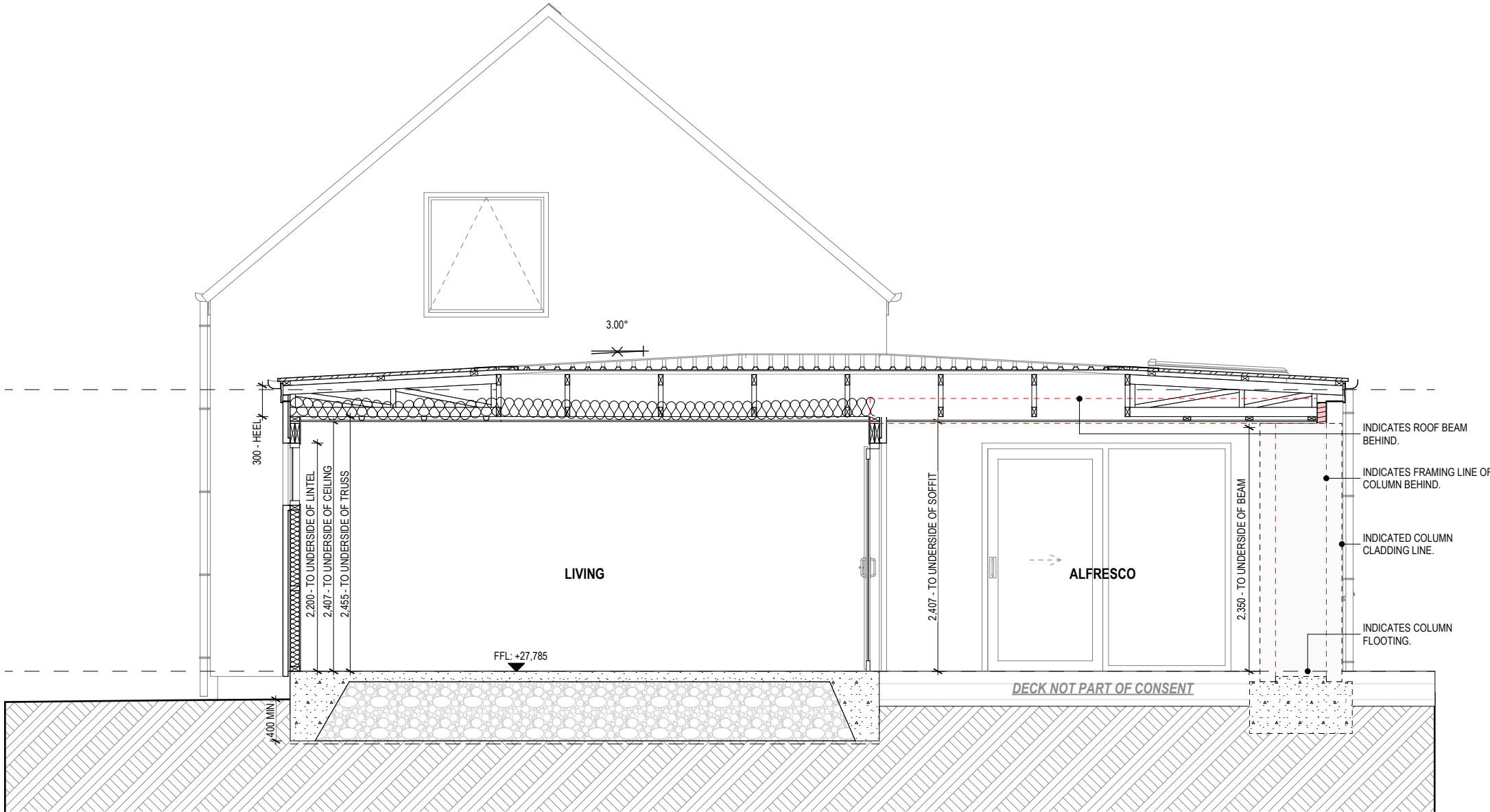


PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:50

A4.04
SECTION D

CONSTRUCTION NOTES

ENGINEERING	:	N/A
FOUNDATION	:	NZS 3604:2011 SINGLE POUR SLAB & PERIMETER FOUNDATION.
WALL STRUCTURE	:	EXTERNAL: REFER TO KEY INTERNAL: REFER TO KEY
WALL CLADDING	:	50mm SPECIALISED AAC PANEL ON 20mm CAVITY 10 SERIES BLOCK VENEER ON 50mm CAVITY, STACK BOND COLORSTEEL 0.55BMT FLASHING ON 12mm PLYWOOD
INSULATION	:	R3.6 CEILING BATTS (SKILLION TO ATTIC TRUSS TOP CHORDS), TRIM TO MAINTAIN 25mm AIR GAP BETWEEN INSULATION & ROOF UNDERLAY & R2.6 WALL BATTS SELECTED SILENCER INSULATION TO MIDFLOOR. NO INSULATION TO GARAGE CEILING & EXTERIOR GARAGE WALLS/FULLY INSULATED GARAGE

CONSTRUCTION NOTES

LININGS	:	13mm GIB TO CEILINGS ON RONDO BATTENS @ 600mm CRS (RONDO ANGLE TO PERIMETER) 10mm GIB TO WALLS, AQUALINE GIB TO WET AREAS
EXTERNAL JOINERY	:	PC ALUMINIUM EXTERIOR JOINERY, DOUBLE GLAZING TO HABITABLE SPACES, ALL GLAZING TO COMPLY WITH NZS 4223
ROOF STRUCTURE	:	PREFABRICATED NAIL PLATE TRUSSES 70x45mm H1.2 PURLINS @ 600mm CRS TOP & BOTTOM, @ 900mm CRS MAX TO BODY ROOF BRACING BY TRUSS DESIGNER
ROOF CLADDING	:	0.4mm BMT COLORSTEEL LONGRUN TRIMLINE ROOFING ON SELF SUPPORTING UNDERLAY, FIX TO PURLINS WITH 1/10g x 80mm SELF DRILLING SCREW
SOFFIT	:	SELECTED 4.5mm SOFFIT LINING

GENERAL NOTES

ROOF PITCH	:	40° 3°
EAVE WIDTH	:	70mm (TO SUIT CLADDING)
GABLE WIDTH	:	70mm (TO SUIT CLADDING)
PITCHING HEIGHT	:	2455mm TO GF
HEEL HEIGHT	:	300mm TO 3 DEGREE TRUSSES
LINTEL HEIGHT	:	REFER TO FLOOR PLAN NOTES.
SOFFIT TYPE	:	FLAT
RAKING CEILING	:	ATTIC TRUSSES @ 900mm CRS TO FF (190mm TOP CHORD, 240mm BOTTOM CHORD)
RAISED CEILING	:	N/A
DOOR LEAF HEIGHT	:	O/H : 2200mm, STANDARD TO FF (ROBE SLIDERS 1900mm)
FASCIA	:	185mm COLORSTEEL, NO FASCIA TO GABLE END ROOF
SPOUTING	:	PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS
DOWNPIPES	:	80mm ROUND COLORSTEEL DPS

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo

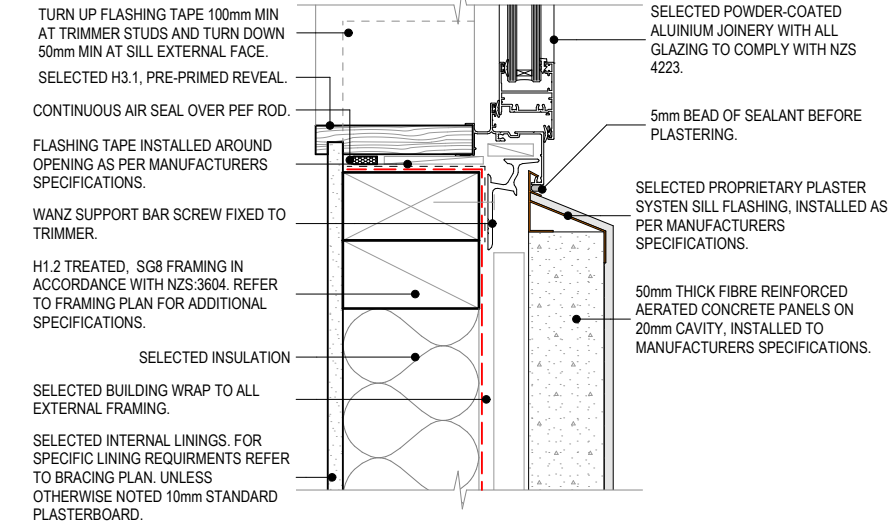


PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
 DEVELOPER APPROVALS.

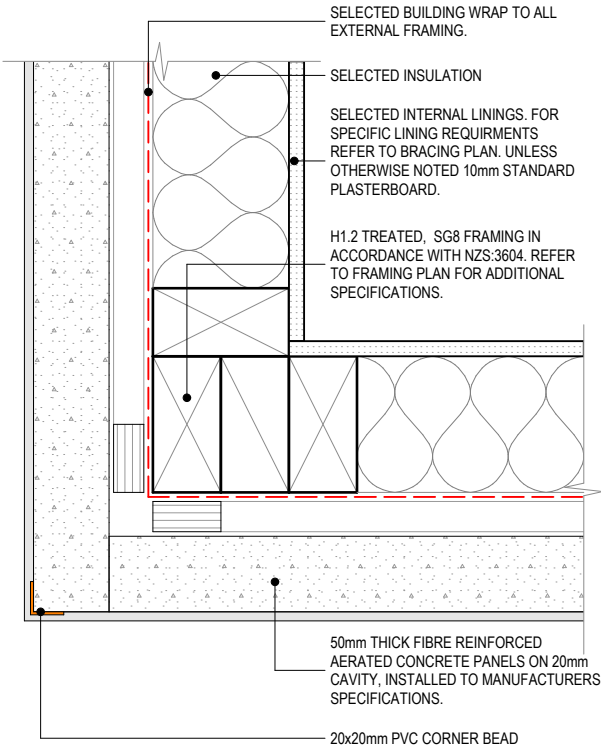
CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
 PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
 SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
 MAY BE REPRODUCED OR COPIED IN ANY FORM
 WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



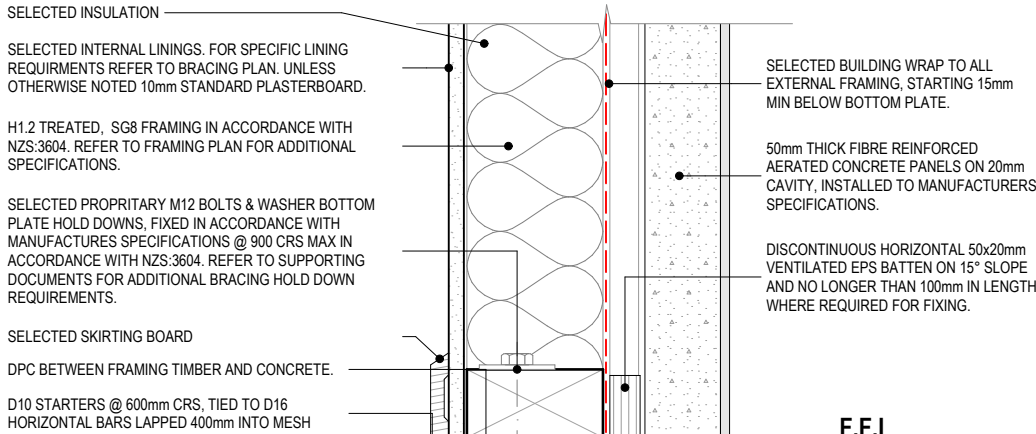
AAC PLASTER : WINDOW SILL

1:5



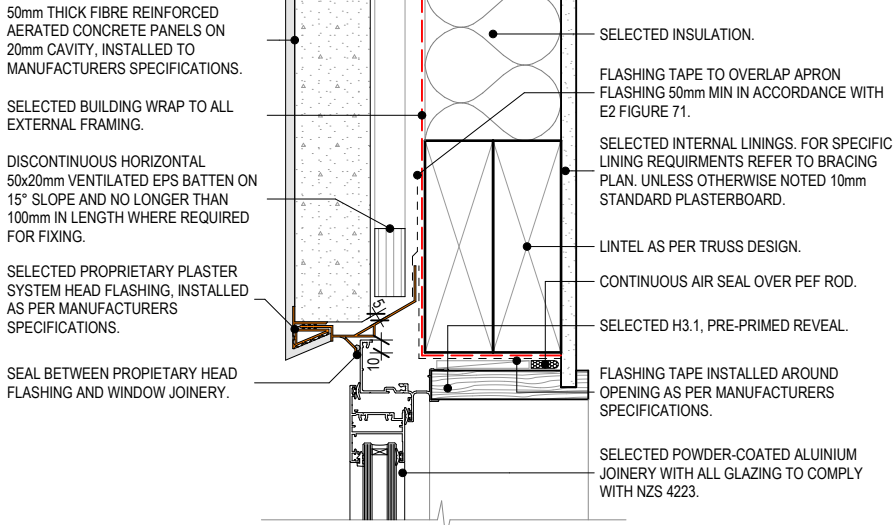
AAC PLASTER : INTERNAL CORNER

1:5



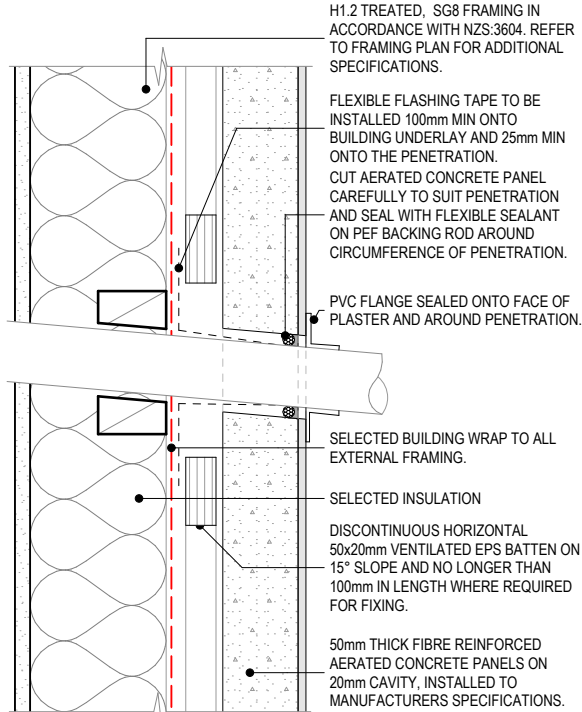
AAC PLASTER : EXTERNAL CORNER

1:5



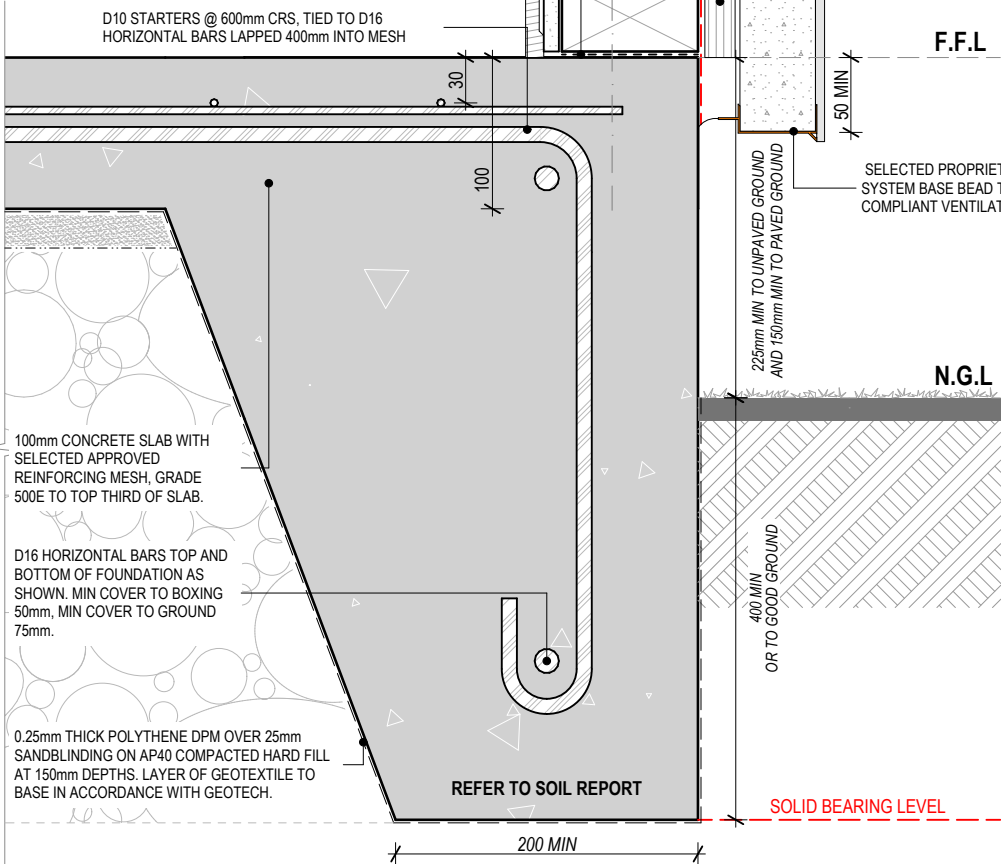
AAC PLASTER : WINDOW HEAD

1:5



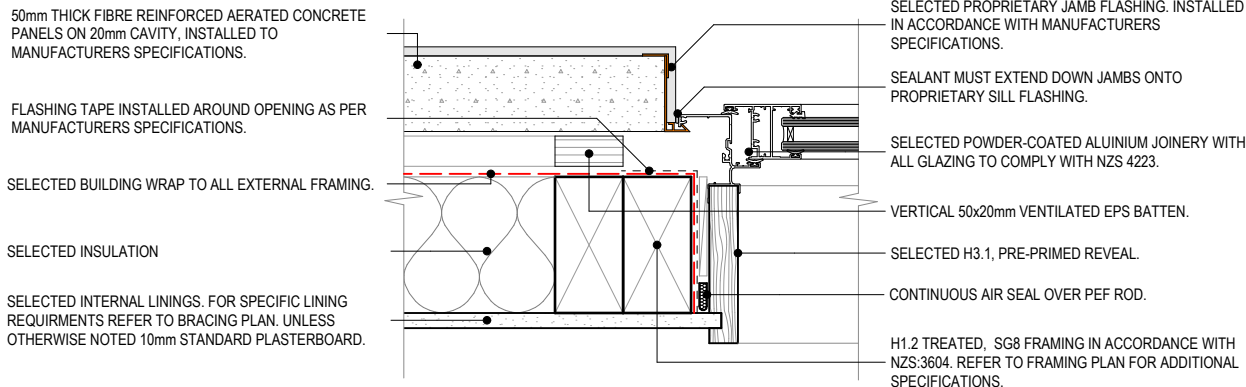
AAC PLASTER : PIPE PENETRATION

1:5



AAC PLASTER : FOUNDATION

1:5



AAC PLASTER : WINDOW JAMB

1:5

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
 VERSION: 1.2D

DATE: 11.01.2020
 SCALE: 1:5

A5.01
 DETAILS : CLADDING (AAC)



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

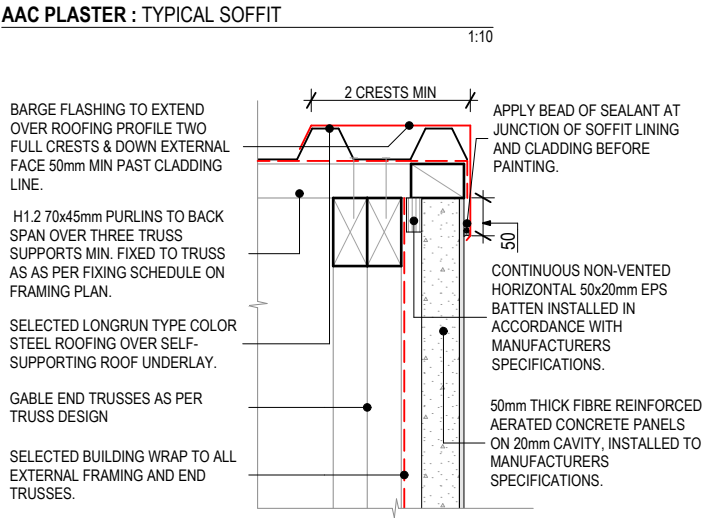
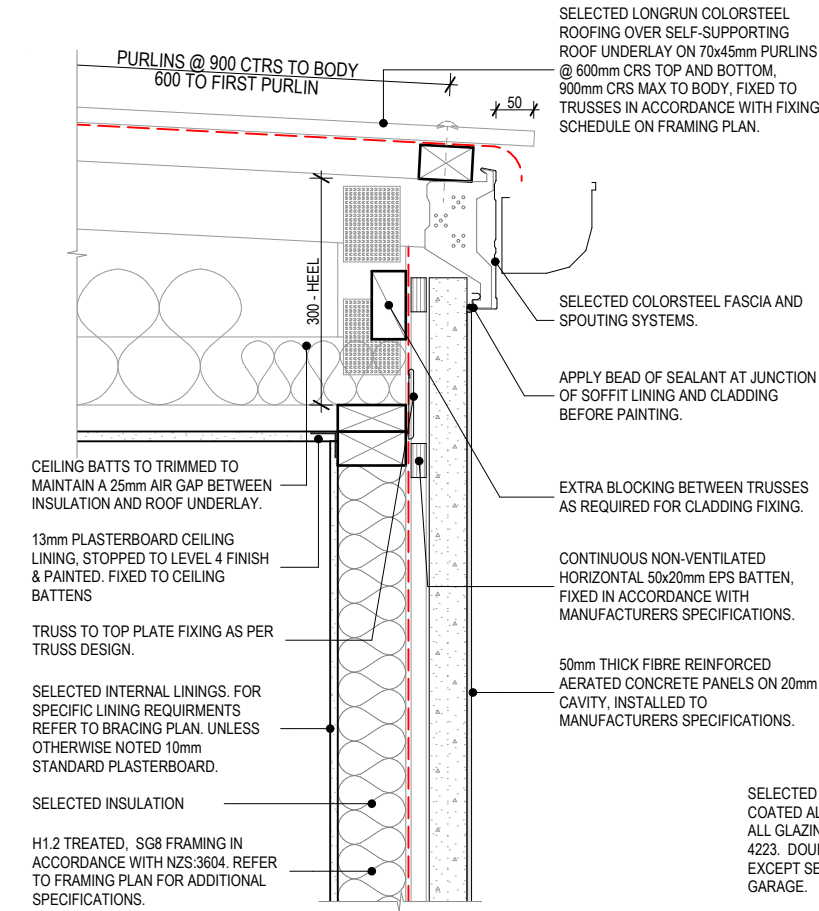
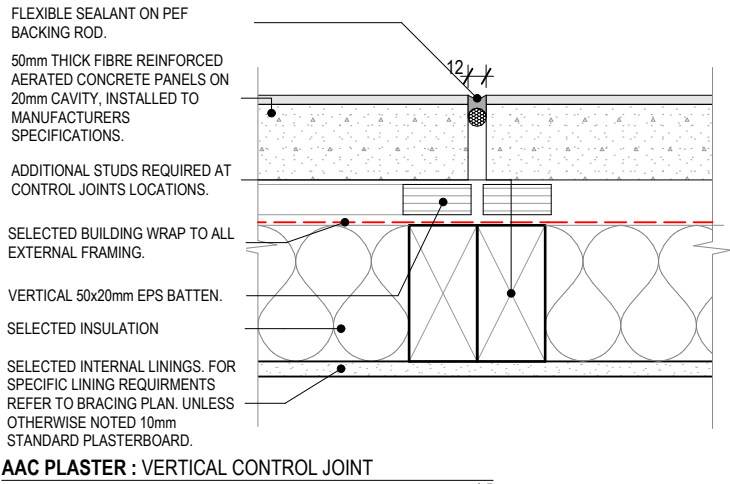
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

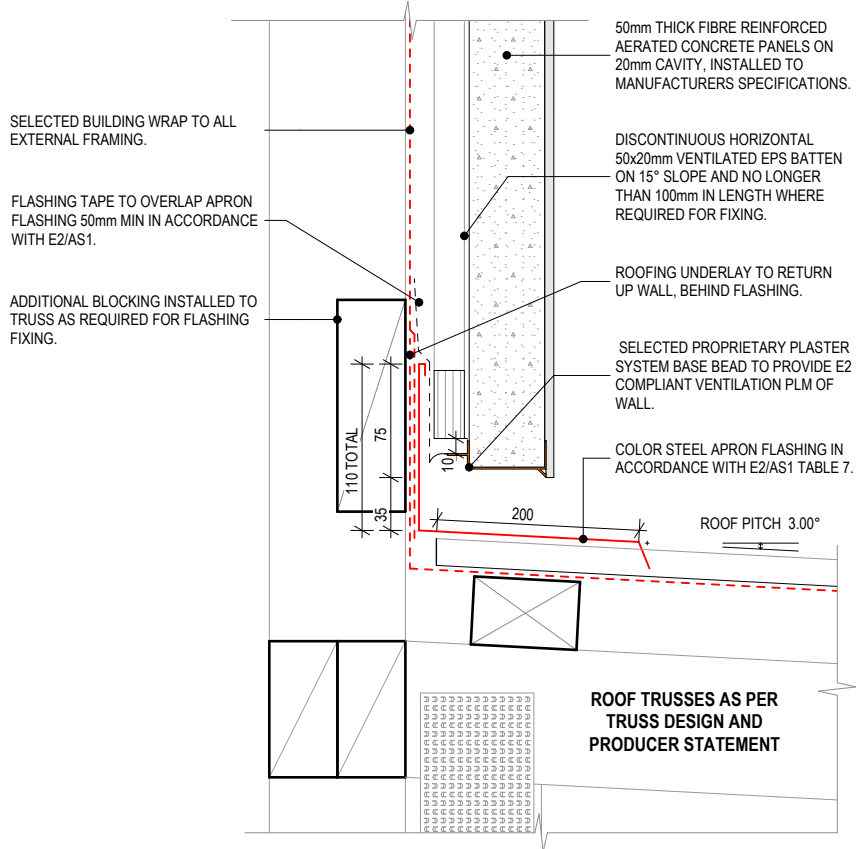
STAGE: CONSENT ISSUE	VERSION: 1.2D
-------------------------	------------------

DATE: 11.01.2020	SCALE: 1:5, 1:10, 1:100
---------------------	----------------------------

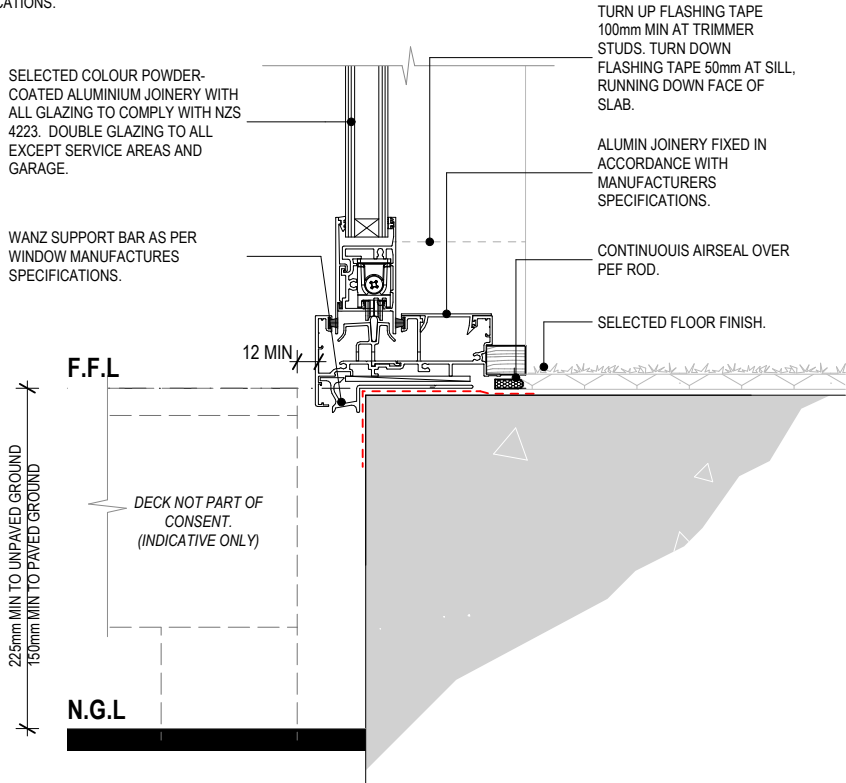
A5.02 DETAILS : CLADDING (AAC)



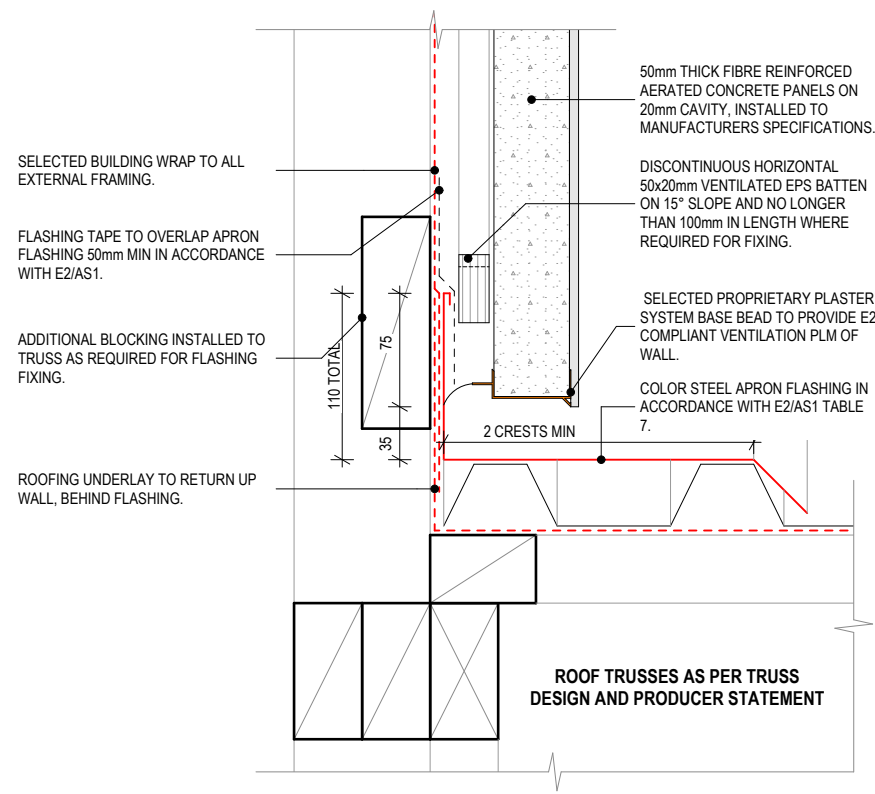
AAC PLASTER : TYPICAL BARGE



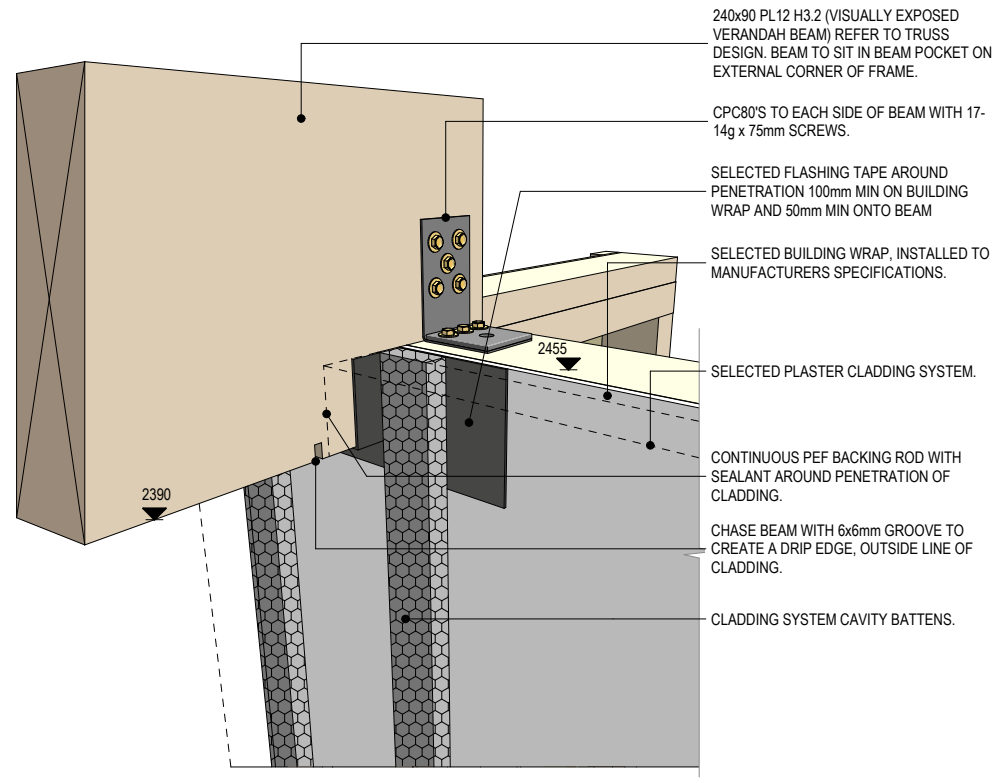
AAC PLASTER : APRON FLASHING (TRANSVERSE)



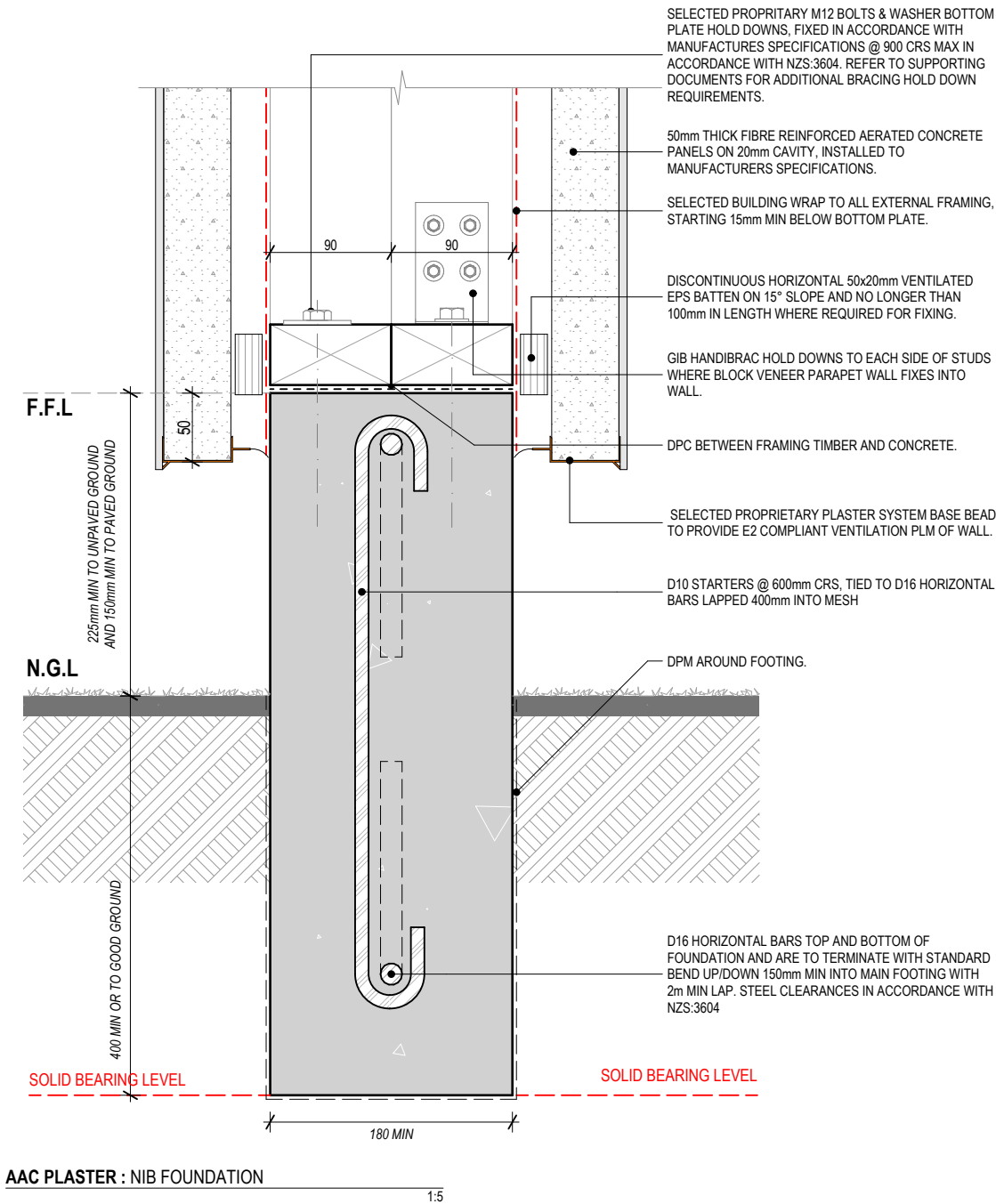
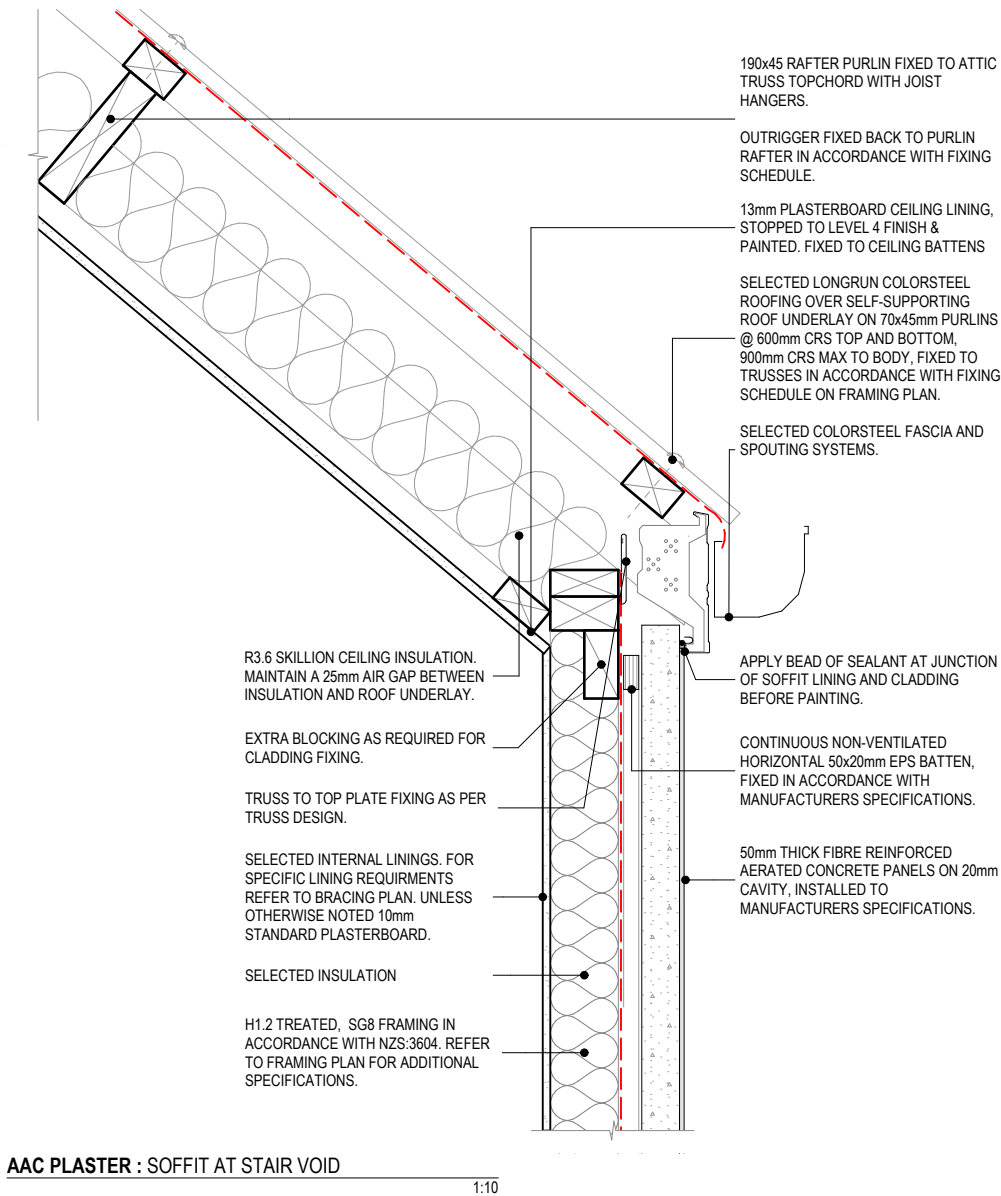
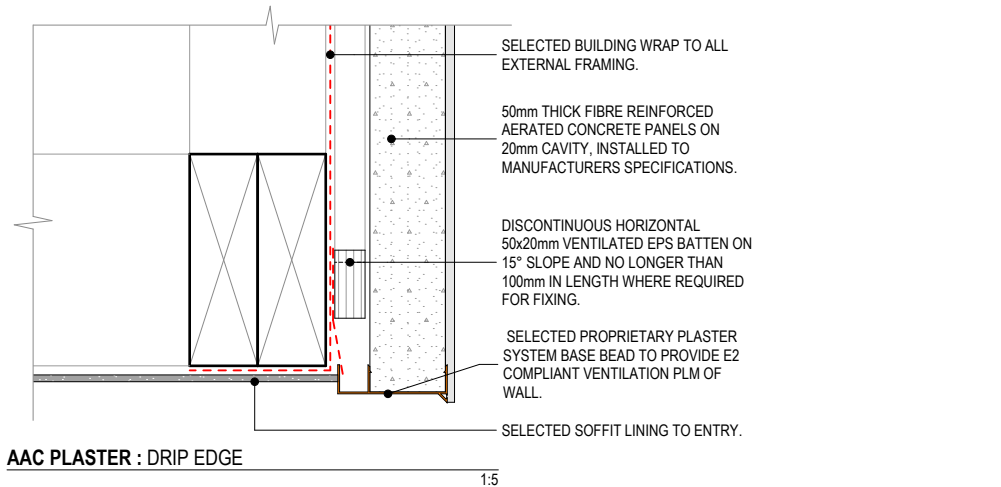
AAC PLASTER : TYPICAL DOOR SILL & THRESHOLD



AAC PLASTER : APRON FLASHING (PARALLEL)



AAC PLASTER : BEAM PENETRATION



WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.
 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.
 ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

REFER TO "NEW ZEALAND CONCRETE MASONRY MANUAL 5.5 VENEER - STACK BOND" LOCATED IN SUPPORTING DOCS.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:5, 1:10

A5.03
 DETAILS : CLADDING (AAC)



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

REFER TO "NEW ZEALAND CONCRETE MASONRY MANUAL 5.5 VENEER - STACK BOND" LOCATED IN SUPPORTING DOCS.

DETAILS TO BE READ IN CONJUNCTION WITH ENGINEERS REVIEW SET DATED 9 & 11.12.2020 & ABOVE STATED DOCUMENT.

PROJECT DETAILS:
JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:5, 1:10

A5.04
DETAILS : CLADDING (10 SERIES)

SELECTED INSULATION

FLASHING TAPE TO OVERLAP APRON FLASHING 50mm MIN IN ACCORDANCE WITH E2 FIGURE 71.

SELECTED BUILDING WRAP TO ALL EXTERNAL FRAMING.

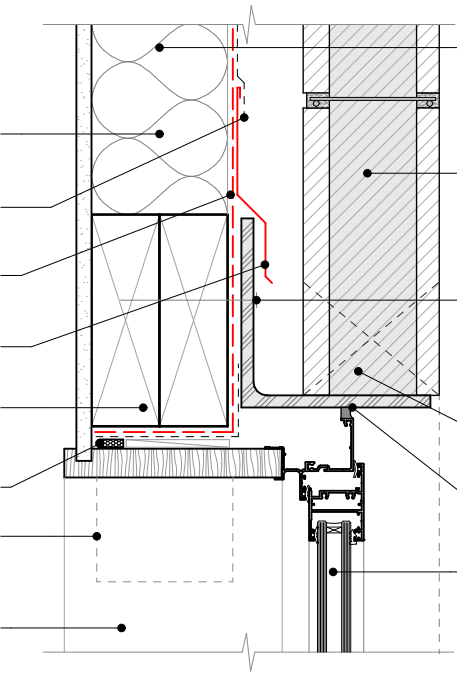
HEAD FLASHING TURNED INTO ANGLE. EXTEND FLASHING 200mm EACH SIDE OF OPENING.

LINTEL AS PER TRUSS DESIGN.

CONTINUOUS AIR SEAL OVER PEF ROD.

FLASHING TAPE TO CORNERS OF HEAD AS PER MANUFACTURERS SPECIFICATIONS.

SELECTED H3.1, PRE-PRIMED REVEAL.



H1.2 TREATED, SG8 FRAMING IN ACCORDANCE WITH NZS:3604. REFER TO FRAMING PLAN FOR ADDITIONAL SPECIFICATIONS.

NOTE: STUDS & DWANGS TO BE AT 400 CTRS FOR VENEER TIES. REFER TO "NZ CONCRETE MASONRY MANUAL"

10 SERIES BLOCK VENEER OVER 50mm CAVITY FIXED TO FRAME WITH BRICK TIES @ 400mm CRS HORIZONTAL & 400mm VERTICAL CRS MAX. LATTICE MESH TO BE LAID AT 800mm MAX VERTICAL CRS.

125x125x6 GALV MS VENEER LINTEL (POWDERCOATED TO SUIT JOINERY), TO EXTEND PAST OPENING EACH SIDE AS NOTED BELOW. REFER TO ELEVATIONS FOR LOCATIONS.

MS ANGLE FIXED BACK TO WALL FRAME WITH M12 x 80mm COACH SCREWS @ 400 CRS.

WEEP HOLES @ 800mm MAX, EVENLY SPACED OVER BOTTOM COURSE OF BRICKS. TIES PLACED ON EVERY SECOND COURSE @ 400mm CRS HORIZONTALLY.

SELECTED WATERPROOF SEALANT BETWEEN ALUMINIUM JOINERY AND VENEER LINTEL.

SELECTED POWDER-COATED ALUMINIUM JOINERY WITH ALL GLAZING TO COMPLY WITH NZS 4223.

NOTE: STEEL ANGLES TO EXTEND 100mm EITHER SIDE OF OPENING FOR SPANS LESS THAN 2m.

STEEL ANGLES TO EXTEND 200mm EITHER SIDE OF OPENING FOR SPANS OVER 2m.

10 SERIES BLOCK VENEER OVER 50mm CAVITY FIXED TO FRAME WITH BRICK TIES @ 400mm CRS HORIZONTAL & 400mm VERTICAL CRS MAX. LATTICE MESH TO BE LAID AT 800mm MAX VERTICAL CRS.

SELECTED BUILDING WRAP TO ALL EXTERNAL FRAMING.

SELECTED INSULATION

H1.2 TREATED, SG8 FRAMING IN ACCORDANCE WITH NZS:3604. REFER TO FRAMING PLAN FOR ADDITIONAL SPECIFICATIONS.

NOTE: STUDS & DWANGS TO BE AT 400 CTRS FOR VENEER TIES. REFER TO "NZ CONCRETE MASONRY MANUAL"

SELECTED PLASTER BOARD LINING. FOR SPECIFIC LINING REQUIRMENTS REFER TO BRACING PLAN.

10 SERIES BLOCK VENEER : WINDOW JAMB

WANZ SUPPORT BAR SCREW FIXED TO TO TIMBER FRAMING.

SELECTED H3.1, PRE-PRIMED REVEAL.

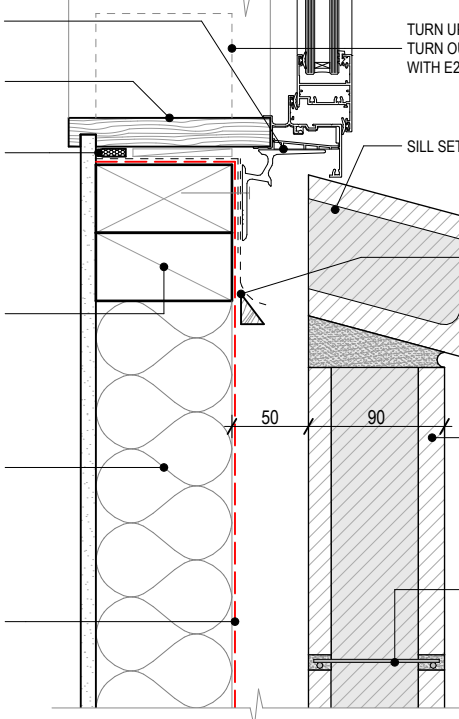
CONTINUOUS AIR SEAL OVER PEF ROD.

H1.2 TREATED, SG8 FRAMING IN ACCORDANCE WITH NZS:3604. REFER TO FRAMING PLAN FOR ADDITIONAL SPECIFICATIONS.

NOTE: STUDS & DWANGS TO BE AT 400 CTRS FOR VENEER TIES. REFER TO "NZ CONCRETE MASONRY MANUAL"

SELECTED INSULATION.

SELECTED BUILDING WRAP TO ALL EXTERNAL FRAMING.



SELECTED POWDER-COATED ALUMINIUM JOINERY WITH ALL GLAZING TO COMPLY WITH NZS 4223.

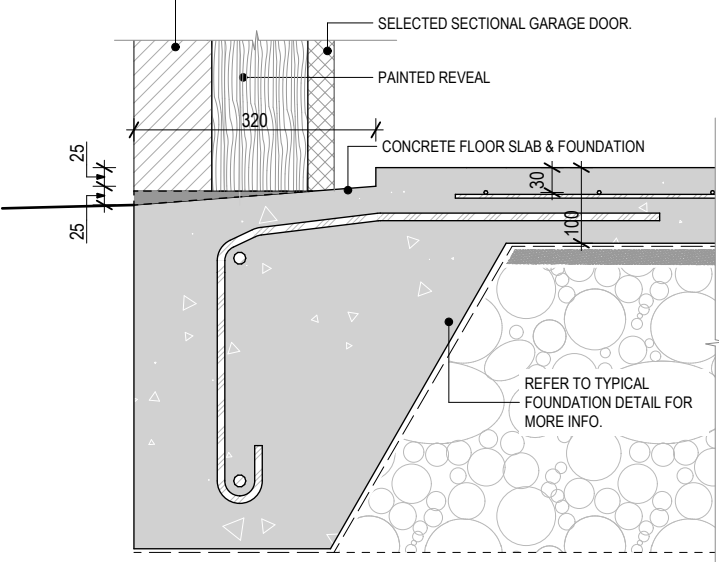
200mm DPC, RUN FROM BUILDING PAPER TO BACK OF ALUMINIUM JOINERY.

SELECTED H3.1, PRE-PRIMED REVEAL.

FLASHING TAPE INSTALLED AROUND OPENING AS PER MANUFACTURERS SPECIFICATIONS.

CONTINUOUS AIR SEAL OVER PEF ROD.

10 SERIES BLOCK VENEER : WINDOW SILL



TURN UP FLASHING TAPE 100mm MIN @ TRIMMING STUD & TURN OUT 50mm MIN TO EXTERNAL FACE IN ACCORDANCE WITH E2 OR MANUFACTURERS SPECIFICATIONS.

SILL SET TO 15 DEGREE MIN FALL AWAY FROM BUILDING.

DPC FLASHING WITH KICK OUT, FORMED BY H3.2 TIMBER FILLET. DPC FLASHING TO EXTEND 200mm EACH SIDE OF WINDOW.

10 SERIES BLOCK VENEER OVER 50mm CAVITY FIXED TO FRAME WITH BRICK TIES @ 400mm CRS HORIZONTAL & 400mm VERTICAL CRS MAX. LATTICE MESH TO BE LAID AT 800mm MAX VERTICAL CRS.

LATTICE MESH TO BE INSTALLED IN COURSE IMMEDIATELY ABOVE AND BELOW OPENING. REFER TO "NEW ZEALAND CONCRETE MASONRY MANUAL 5.5 VENEER - STACK BOND" FOR MORE INFO.

10 SERIES BLOCK VENEER : GARAGE DOOR REBATE

SELECTED INSULATION

SELECTED INTERNAL LININGS. FOR SPECIFIC LINING REQUIREMENTS REFER TO BRACING PLAN. UNLESS OTHERWISE NOTED 10mm STANDARD PLASTERBOARD.

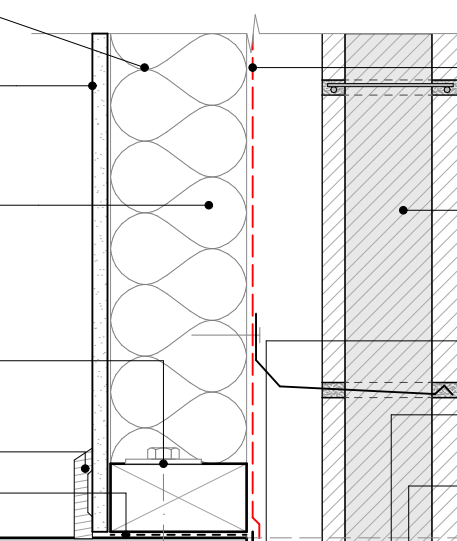
H1.2 TREATED, SG8 FRAMING IN ACCORDANCE WITH NZS:3604. REFER TO FRAMING PLAN FOR ADDITIONAL SPECIFICATIONS.

NOTE: STUDS & DWANGS TO BE AT 400 CTRS FOR VENEER TIES. REFER TO "NZ CONCRETE MASONRY MANUAL"

SELECTED PROPRIETARY M12 BOLTS & WASHER BOTTOM PLATE HOLD DOWNS. FIXED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS @ 900 CRS MAX IN ACCORDANCE WITH NZS:3604. REFER TO SUPPORTING DOCUMENTS FOR ADDITIONAL BRACING HOLD DOWN REQUIREMENTS.

SELECTED SKIRTING BOARD

DPC BETWEEN FRAMING TIMBER AND CONCRETE.



SELECTED BUILDING WRAP TO ALL EXTERNAL FRAMING, STARTING 15mm MIN BELOW BOTTOM PLATE.

10 SERIES BLOCK VENEER OVER 50mm CAVITY FIXED TO FRAME WITH BRICK TIES @ 400mm CRS HORIZONTAL & 400mm VERTICAL CRS MAX. LATTICE MESH TO BE LAID AT 800mm MAX VERTICAL CRS.

MORTAR FILLIET, SLOPED TO DIRECT WATER TO OUTSIDE FACE OF FOUNDATION.

TWO COATS OF BITUMINOUS LIQUID TO REBATE.

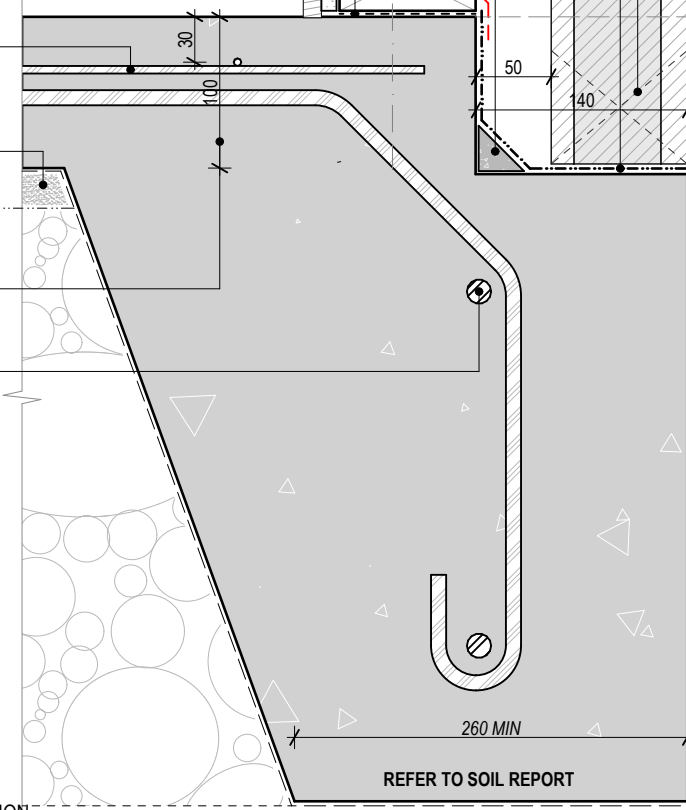
WEEP HOLES @ 800mm MAX, EVENLY SPACED OVER BOTTOM COURSE OF BRICKS. TIES PLACED ON EVERY SECOND COURSE @ 400mm CRS HORIZONTALLY.

D10 STARTERS @ 600mm CRS, TIED TO D16 HORIZONTAL BARS LAPPED 400mm INTO MESH

0.25mm THICK POLYTHENE DPM OVER 25mm SANDBLINDING ON AP40 COMPACTED HARD FILL AT 150mm DEPTHS. LAYER OF GEOTEXTILE TO BASE IN ACCORDANCE WITH GEOTECH.

100mm CONCRETE SLAB WITH SELECTED APPROVED REINFORCING MESH, GRADE 500E TO TOP THIRD OF SLAB.

D16 HORIZONTAL BARS TOP AND BOTTOM OF FOUNDATION AS SHOWN. MIN COVER TO BOXING 50mm, MIN COVER TO GROUND 75mm.



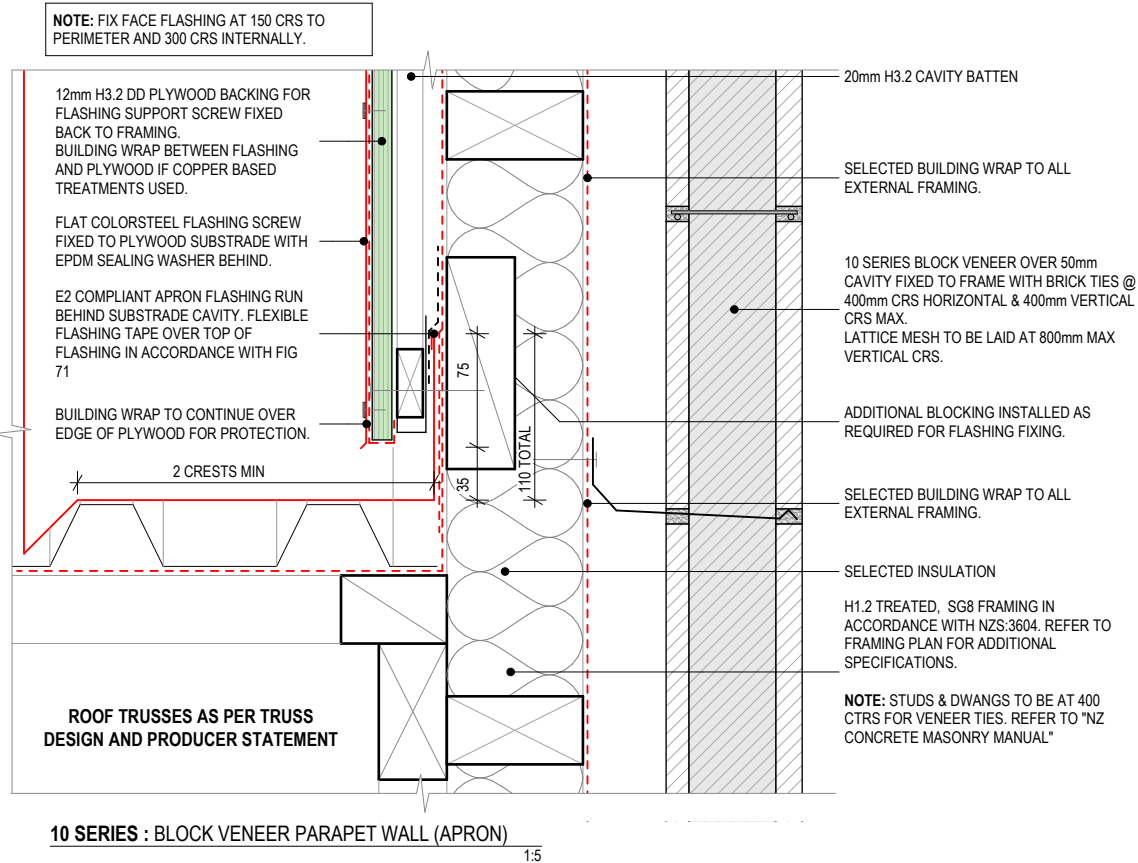
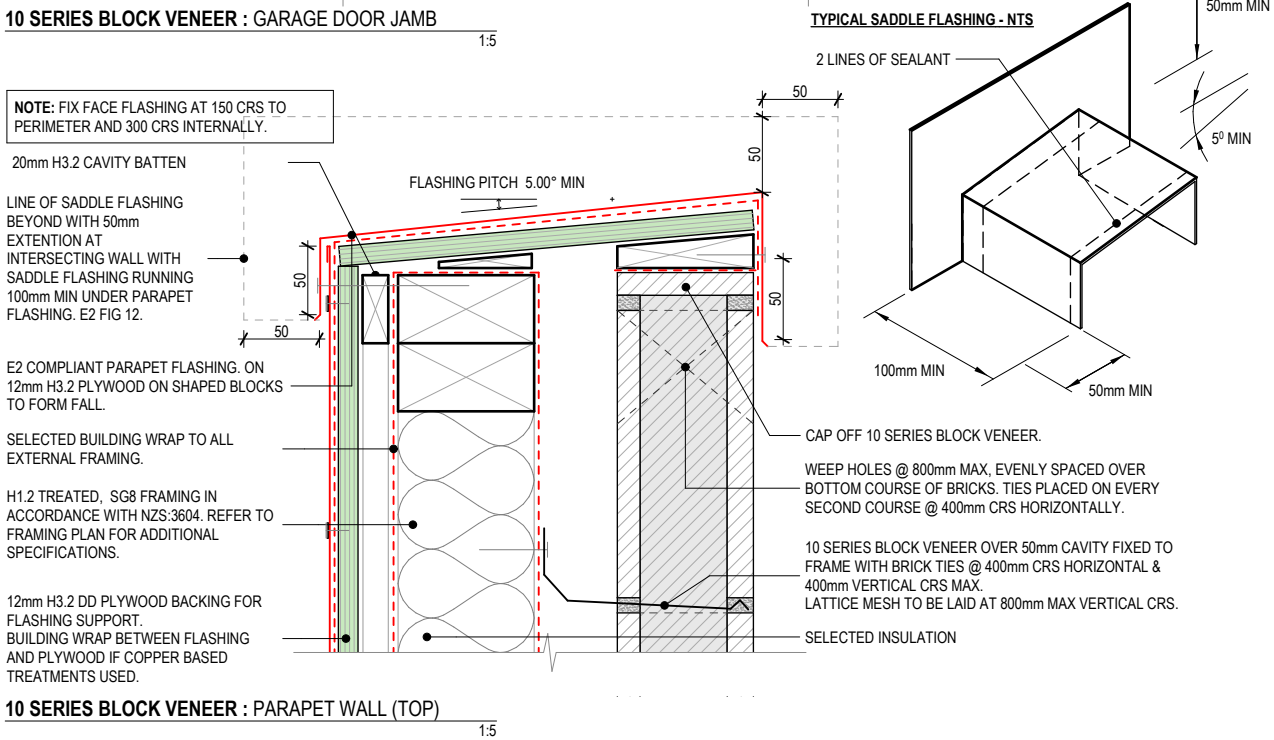
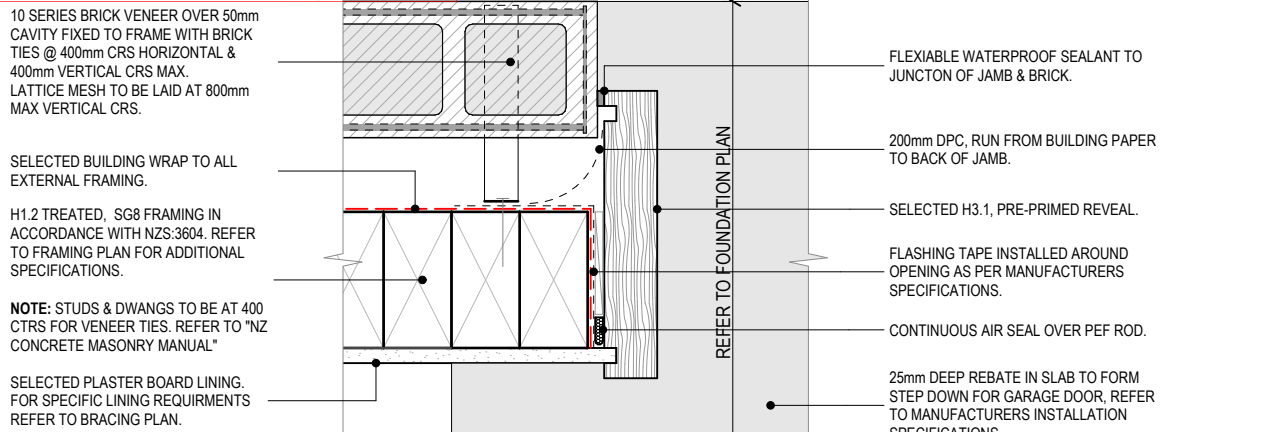
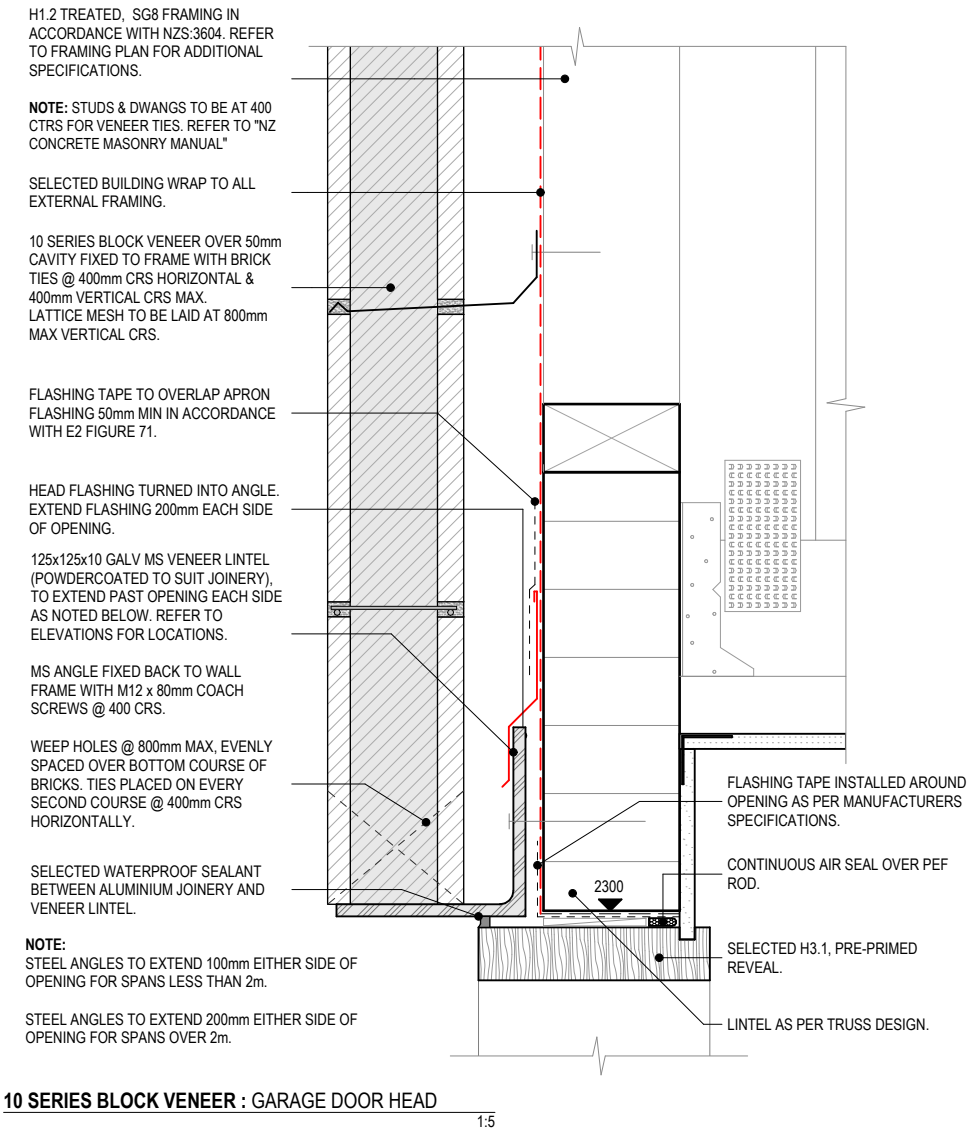
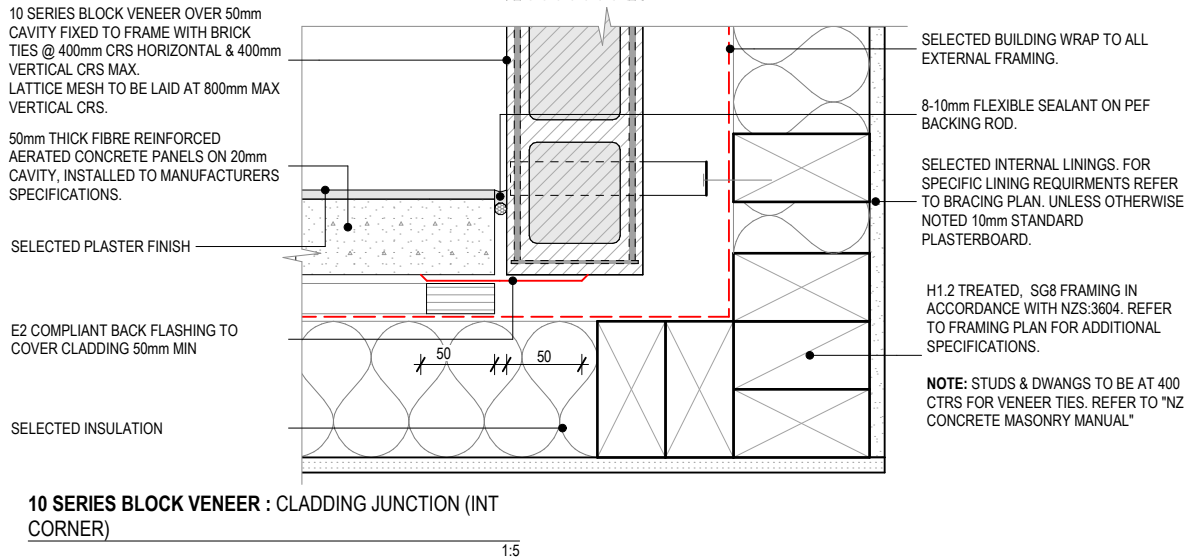
10 SERIES BLOCK VENEER : FOUNDATION

1:5

1:10

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo

CONSENT ISSUED BC201209 - Page 31 of 42



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

REFER TO "NEW ZEALAND CONCRETE MASONRY MANUAL 5.5 VENEER - STACK BOND" LOCATED IN SUPPORTING DOCS.

DETAILS TO BE READ IN CONJUNCTION WITH ENGINEERS REVIEW SET DATED 9 & 11.12.2020 & ABOVE STATED DOCUMENT.

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
VERSION: 1.2D

DATE: 11.01.2020
SCALE: 1:5

A5.05
DETAILS : CLADDING (10 SERIES)

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
MAY BE REPRODUCED OR COPIED IN ANY FORM
WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

REFER TO "NEW ZEALAND CONCRETE MASONRY
MANUAL 5.5 VENEER - STACK BOND" LOCATED IN
SUPPORTING DOCS.

DETAILS TO BE READ IN CONJUNCTION WITH
ENGINEERS REVIEW SET DATED 9 & 11.12.2020 &
ABOVE STATED DOCUMENT.

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

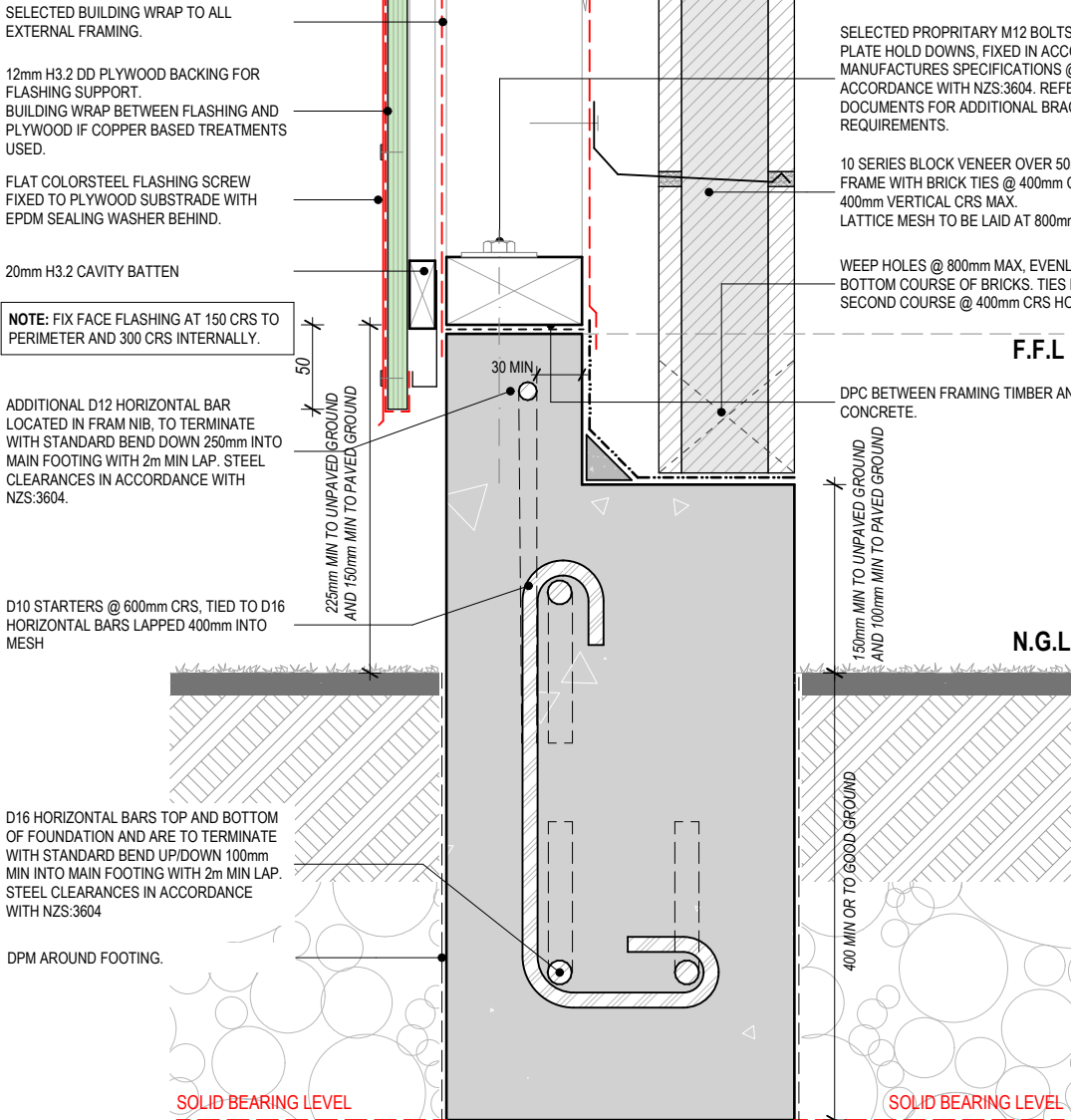
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
VERSION: 1.2D

DATE: 11.01.2020
SCALE: 1:5

A5.06
DETAILS : CLADDING (10 SERIES)



10 SERIES : BLOCK VENEER PARAPET WALL
(FOUNDATION)

1:5

H1.2 TREATED, SG8 FRAMING IN
ACCORDANCE WITH NZS:3604. REFER
TO FRAMING PLAN FOR ADDITIONAL
SPECIFICATIONS.

SELECTED INSULATION

FLASHING TAPE TO OVERLAP APRON
FLASHING 50mm MIN IN ACCORDANCE
WITH E2 FIGURE 71.

SELECTED BUILDING WRAP TO ALL
EXTERNAL FRAMING.

HEAD FLASHING TURNED INTO
ANGLE. EXTEND FLASHING 200mm
EACH SIDE OF OPENING.

ADDITIONAL BLOCKING TO MS ANGLE
FIXING.

ALUMIN FACE FLASHING FOLDED
BACK INTO CAVITY WITH ANGLED
EDGE AND SELECTED WATERPROOF
SEALANT AT STEEL TO FLASHING
JUNCTION.

2mm ALUMIN FACE FLASHING
CUSTOM FACING ADHERED/SEALED
TO PLYWOOD SUBSTRATE FOR NO
VISIBLE FIXINGS. ENSURE ADHESIVE
IS EVENLY SPREAD WITH NO VOIDS
FOR EVEN SETTLEMENT.

x 2 LAYERS OF 12mm H3.2 DD
PLYWOOD BACKING FOR FLASHING
SUPPORT (SECOND LAYER IS FOR
PACKING OUT PAST BLOCK VENEER
CAVITY LINE)

20mm H3.2 CAVITY BATTEN

10 SERIES BLOCK VENEER : BETWEEN WINDOW
FLASHING (HEAD)

1:5

10 SERIES BLOCK VENEER OVER 50mm
CAVITY FIXED TO FRAME WITH BRICK
TIES @ 400mm CRS HORIZONTAL &
400mm VERTICAL CRS MAX.
LATTICE MESH TO BE LAID AT 800mm
MAX VERTICAL CRS.

125x125x6 GALV MS VENEER LINTEL
(POWDERCOATED TO SUIT JOINERY), TO
EXTEND PAST OPENING EACH SIDE AS
NOTED BELOW. REFER TO ELEVATIONS
FOR LOCATIONS.

MS ANGLE FIXED BACK TO WALL FRAME
WITH M12 x 80mm COACH SCREWS @
400 CRS.

WEEP HOLES @ 800mm MAX, EVENLY
SPACED OVER BOTTOM COURSE OF
BRICKS. TIES PLACED ON EVERY
SECOND COURSE @ 400mm CRS
HORIZONTALLY.

SELECTED WATERPROOF SEALANT ON
PEF ROD.

NOTE:
STEEL ANGLES TO EXTEND 100mm
EITHER SIDE OF OPENING FOR SPANS
LESS THAN 2m.

STEEL ANGLES TO EXTEND 200mm
EITHER SIDE OF OPENING FOR SPANS
OVER 2m.

FLAT ALUMIN FACE FLASHING RAN
DOWN TO SILL AND OVER SILL 50mm
MIN.

20mm H3.2 CAVITY BATTEN

2mm ALUMIN FACE FLASHING CUSTOM
FACING ADHERED/SEALED TO
PLYWOOD SUBSTRATE FOR NO
VISIBLE FIXINGS. ENSURE ADHESIVE
IS EVENLY SPREAD WITH NO VOIDS
FOR EVEN SETTLEMENT.

x 2 LAYERS OF 12mm H3.2 DD
PLYWOOD BACKING FOR FLASHING
SUPPORT (SECOND LAYER IS FOR
PACKING OUT PAST BLOCK VENEER
CAVITY LINE)

SILL SET TO 15 DEGREE MIN FALL
AWAY FROM BUILDING.

SELECTED BUILDING WRAP TO ALL
EXTERNAL FRAMING.

10 SERIES BLOCK VENEER OVER
50mm CAVITY FIXED TO FRAME WITH
BRICK TIES @ 400mm CRS
HORIZONTAL & 400mm VERTICAL CRS
MAX.
LATTICE MESH TO BE LAID AT 800mm
MAX VERTICAL CRS.

LATTICE MESH TO BE INSTALLED IN
COURSE IMMEDIATELY ABOVE AND
BELOW OPENING. REFER TO "NEW
ZEALAND CONCRETE MASONRY
MANUAL 5.5 VENEER - STACK BOND"
FOR MORE INFO.

10 SERIES : BLOCK VENEER BETWEEN WINDOW
FLASHING (SILL)

1:5

SELECTED INSULATION

E2 COMPLIANT BACK FLASHING TO
COVER CLADDING 50mm MIN

SELECTED PLASTER FINISH

50mm THICK FIBRE REINFORCED
AERATED CONCRETE PANELS ON 20mm
CAVITY, INSTALLED TO MANUFACTURERS
SPECIFICATIONS.

12mm H3.2 DD PLYWOOD BACKING FOR
FLASHING SUPPORT.
BUILDING WRAP BETWEEN FLASHING
AND PLYWOOD IF COPPER BASED
TREATMENTS USED.

FLAT COLORSTEEL FLASHING SCREW
FIXED TO PLYWOOD SUBSTRATE WITH
EPDM SEALING WASHER BEHIND.

NOTE: FIX FACE FLASHING AT 150 CRS
TO PERIMETER AND 300 CRS
INTERNALLY.

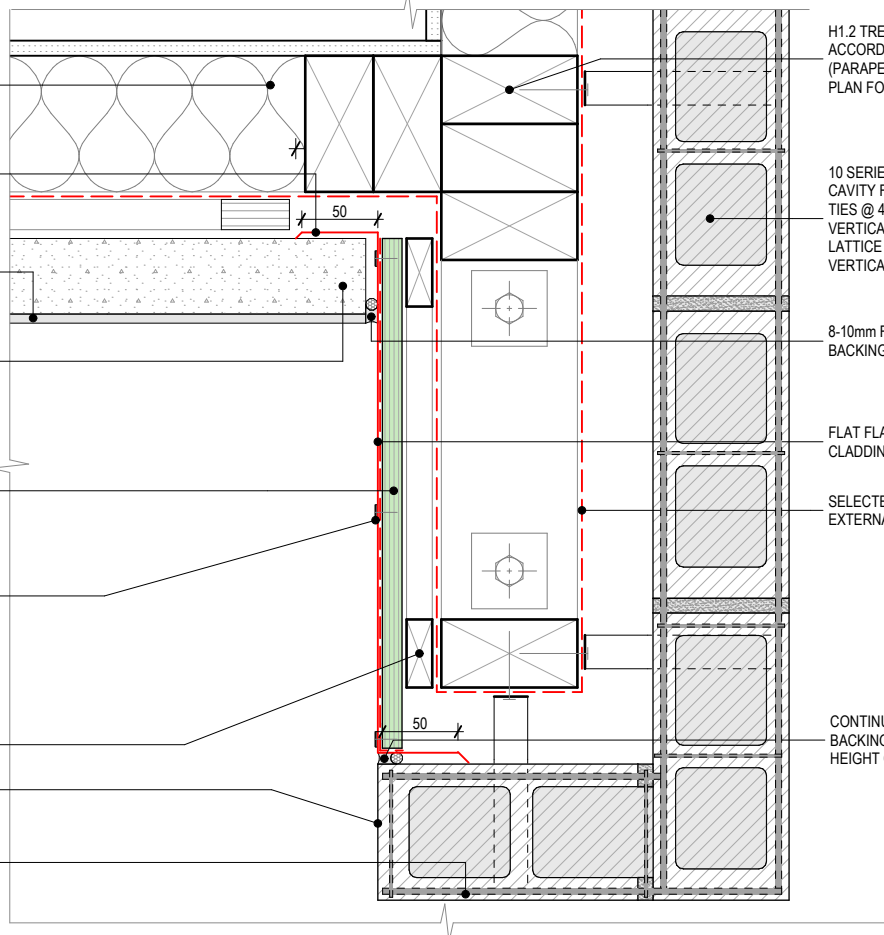
20mm H3.2 CAVITY BATTEN

END BLOCK VENEER CUT DOWN TO SUIT
FRAME END.

CORNER INTERSECTIONS TO HAVE
PURPOSE MATE L SHAPED LATTICE MESH
TO TIE CORNERS TOGETHER. IN
ACCORDANCE WITH ENGINEERS REVIEW.

10 SERIES : BLOCK VENEER PARAPET WALL (WALL
EXTENTIONS)

1:5



H1.2 TREATED, truFRAME FRAMING IN
ACCORDANCE WITH DESIGN IT
(PARAPET WALLS). REFER TO FRAMING
PLAN FOR ADDITIONAL SPECIFICATIONS.

10 SERIES BRICK VENEER OVER 50mm
CAVITY FIXED TO FRAME WITH BRICK
TIES @ 400mm CRS HORIZONTAL & 400mm
VERTICAL CRS MAX.
LATTICE MESH TO BE LAID AT 800mm MAX
VERTICAL CRS.

8-10mm FLEXIBLE SEALANT ON PEF
BACKING ROD.

FLAT FLASHING TO RETURN BEHIND
CLADDINGS 50mm MIN.

SELECTED BUILDING WRAP TO ALL
EXTERNAL FRAMING.

CONTINUOUS FLEXIBLE SEALANT ON PEF
BACKING ROD AT JUNCTION TO FULL
HEIGHT OF 10 SERIES.

2mm ALUMIN FACE FLASHING CUSTOM
FACING ADHERED/SEALED TO
PLYWOOD SUBSTRATE FOR NO
VISIBLE FIXINGS. ENSURE ADHESIVE IS
EVENLY SPREAD WITH NO VOIDS FOR
EVEN SETTLEMENT.

LINE OF SILL FLASHING OVER SILL.

LINE OF SILL BLOCK

x 2 LAYERS OF 12mm H3.2 DD
PLYWOOD BACKING FOR FLASHING
SUPPORT (SECOND LAYER IS FOR
PACKING OUT PAST BLOCK VENEER
CAVITY LINE)

SELECTED POWDER-COATED ALUMINIUM
JOINERY WITH ALL GLAZING TO
COMPLY WITH NZS 4223.

SELECTED H3.1, PRE-PRIMED REVEAL.

FLASHING TAPE INSTALLED AROUND
OPENING AS PER MANUFACTURERS
SPECIFICATIONS.

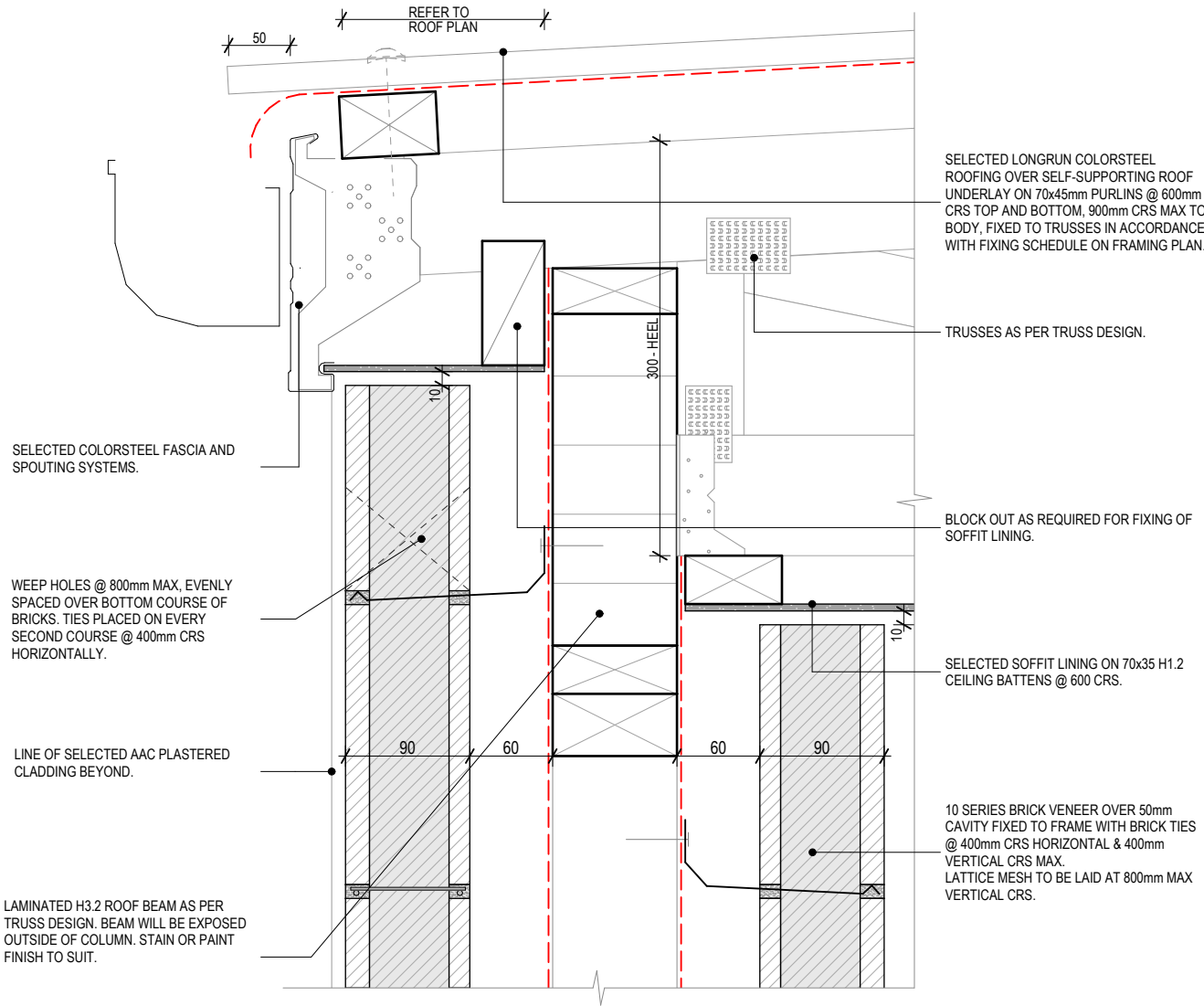
CONTINUOUS AIR SEAL OVER PEF ROD.

H1.2 TREATED, SG8 FRAMING IN
ACCORDANCE WITH NZS:3604. REFER
TO FRAMING PLAN FOR ADDITIONAL
SPECIFICATIONS.

SELECTED BUILDING WRAP TO ALL
EXTERNAL FRAMING.

10 SERIES : BLOCK VENEER BETWEEN WINDOW
FLASHING (JAMB)

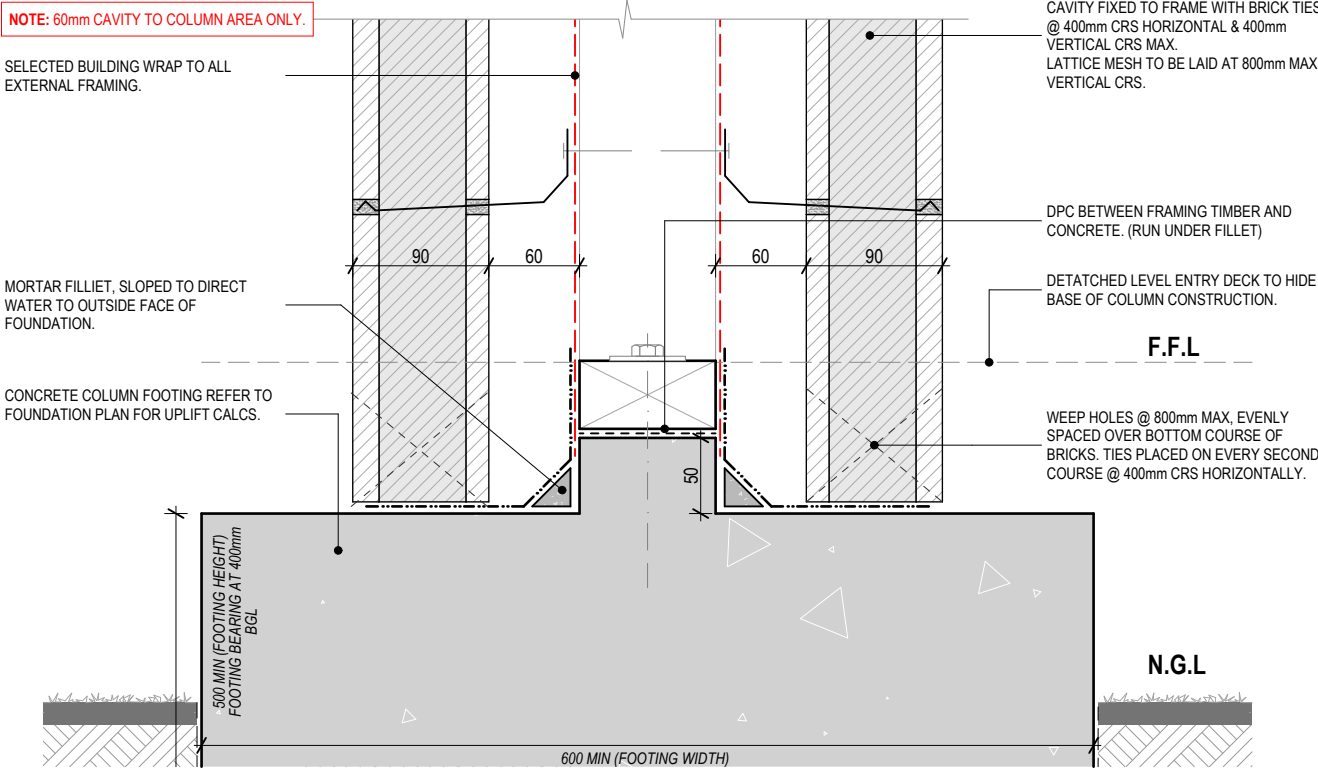
1:5



NOTE: 60mm CAVITY TO COLUMN AREA ONLY.

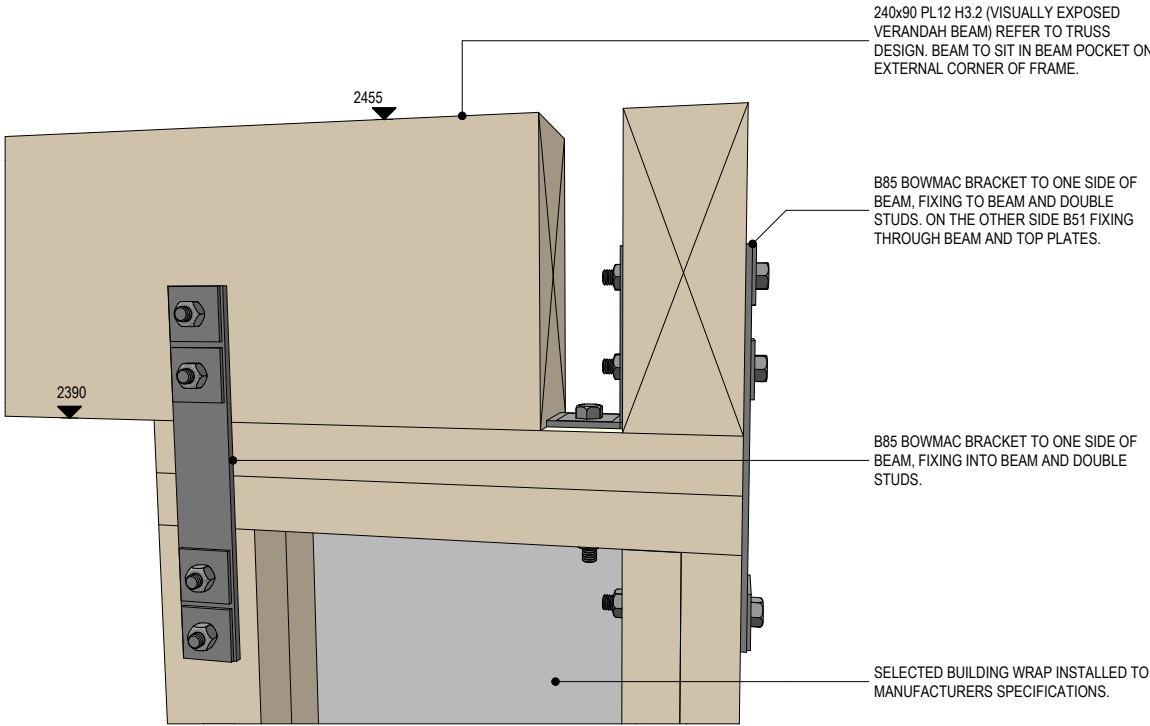
10 SERIES BLOCK VENEER : COLUMN SOFFIT

1:5



10 SERIES BLOCK VENEER : COLUMN FOOTING

1:5



CLADDING OMMITTED FOR CLARITY

10 SERIES BLOCK VENEER : BEAM TO COLUMN CONNECTION

1:100

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

REFER TO "NEW ZEALAND CONCRETE MASONRY MANUAL 5.5 VENEER - STACK BOND" LOCATED IN SUPPORTING DOCS.

DETAILS TO BE READ IN CONJUNCTION WITH ENGINEERS REVIEW SET DATED 9 & 11.12.2020 & ABOVE STATED DOCUMENT.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
 VERSION: 1.2D

DATE: 11.01.2020
 SCALE: 1:100, 1:5

A5.07
 DETAILS : CLADDING (10 SERIES)



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS:

JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

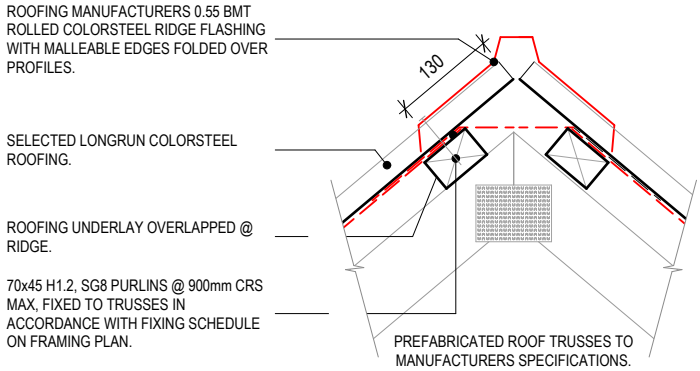
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:10, 1:100

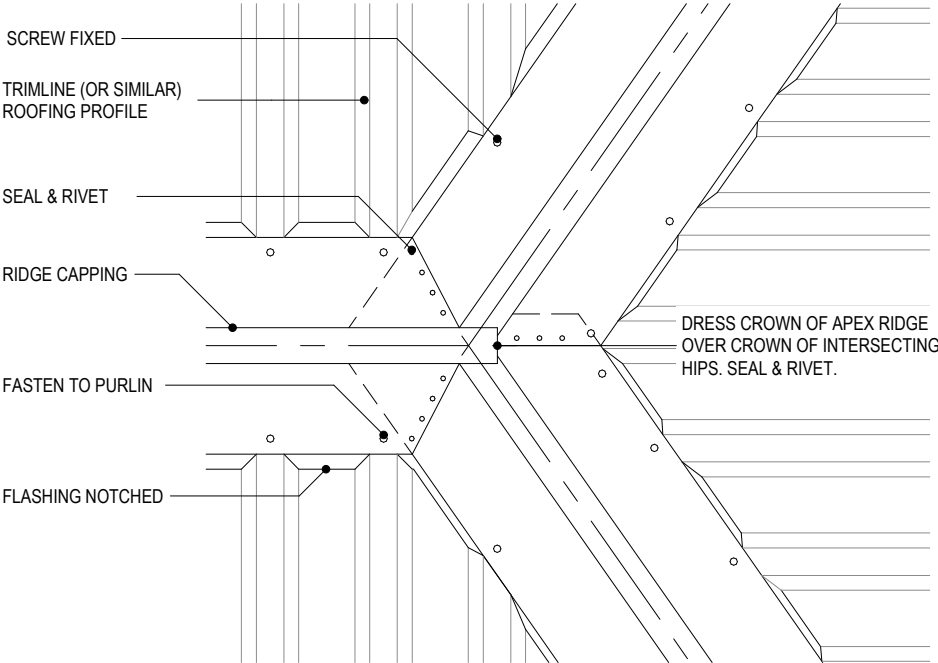
A5.08

DETAILS : ROOF



ROOF : TYPICAL RIDGE

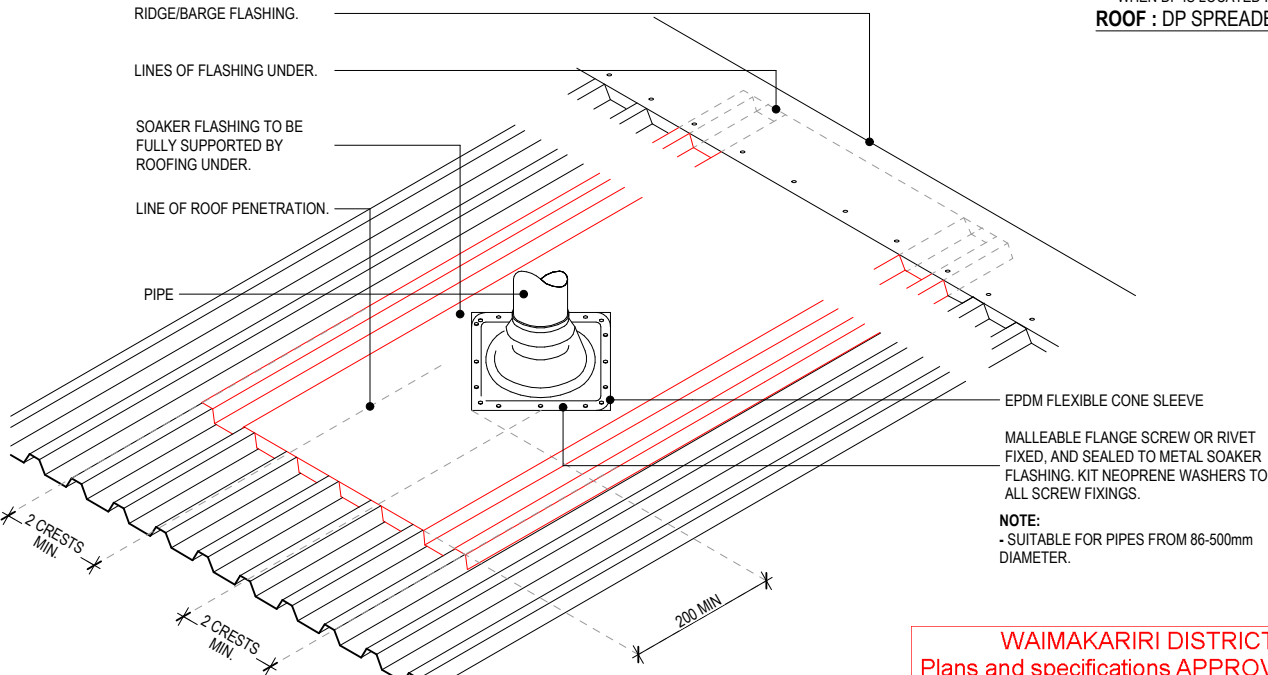
1:10



NOTE: SOFT EDGED FLASHINGS TO BE COLOUR MATCHED PRIOR TO INSTALLATION.

ROOF : TYPICAL HIP

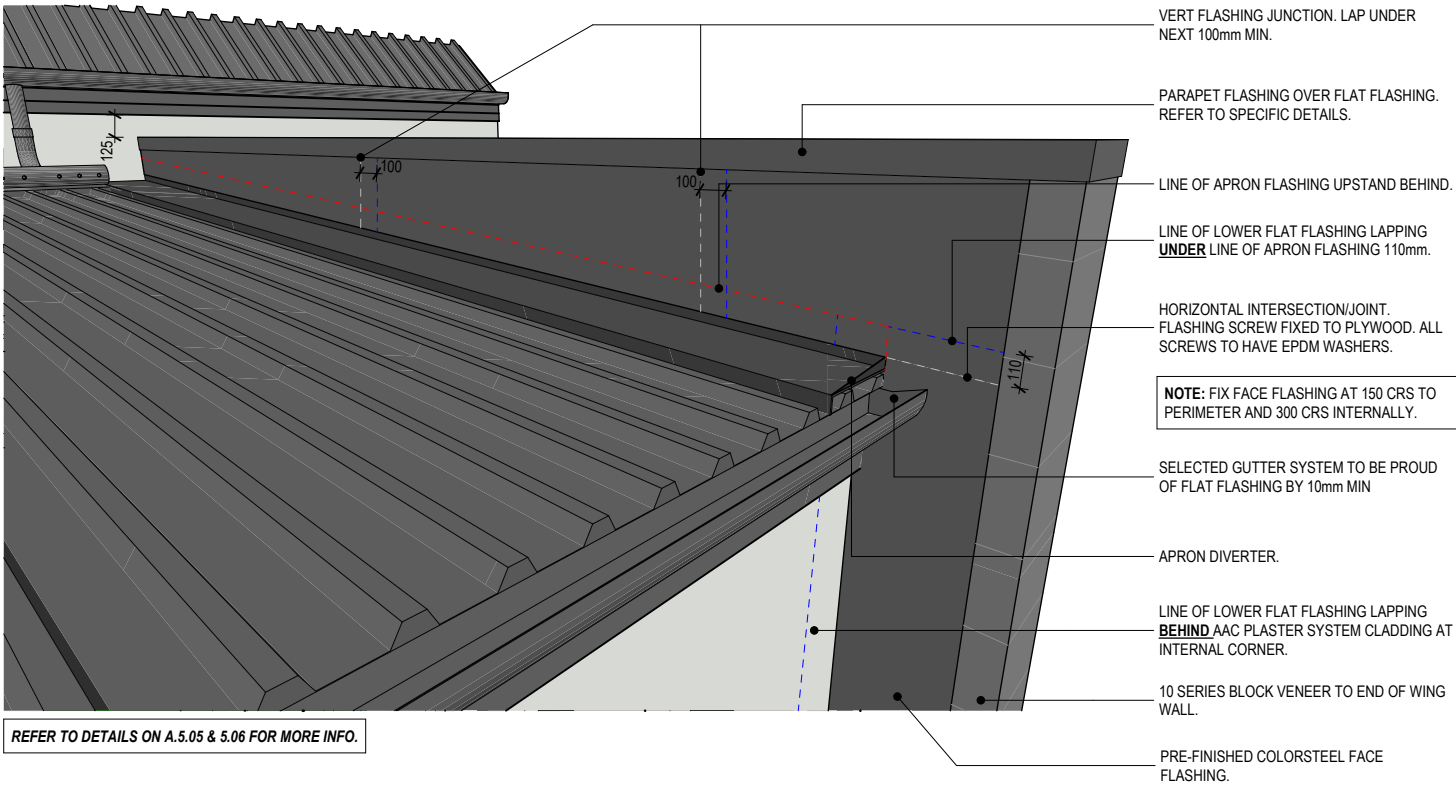
1:10



ROOF : 3 DEGREE ROOF PENETRATION (TYPICAL)

1:10

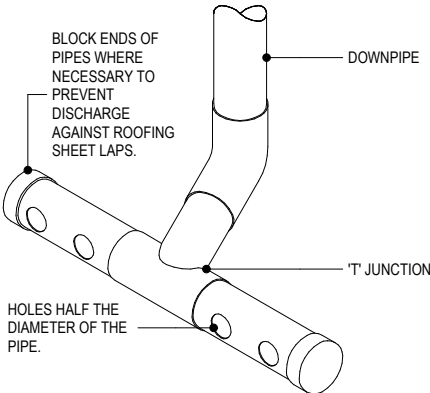
WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



REFER TO DETAILS ON A.5.05 & 5.06 FOR MORE INFO.

ROOF : BACK OF PARAPET

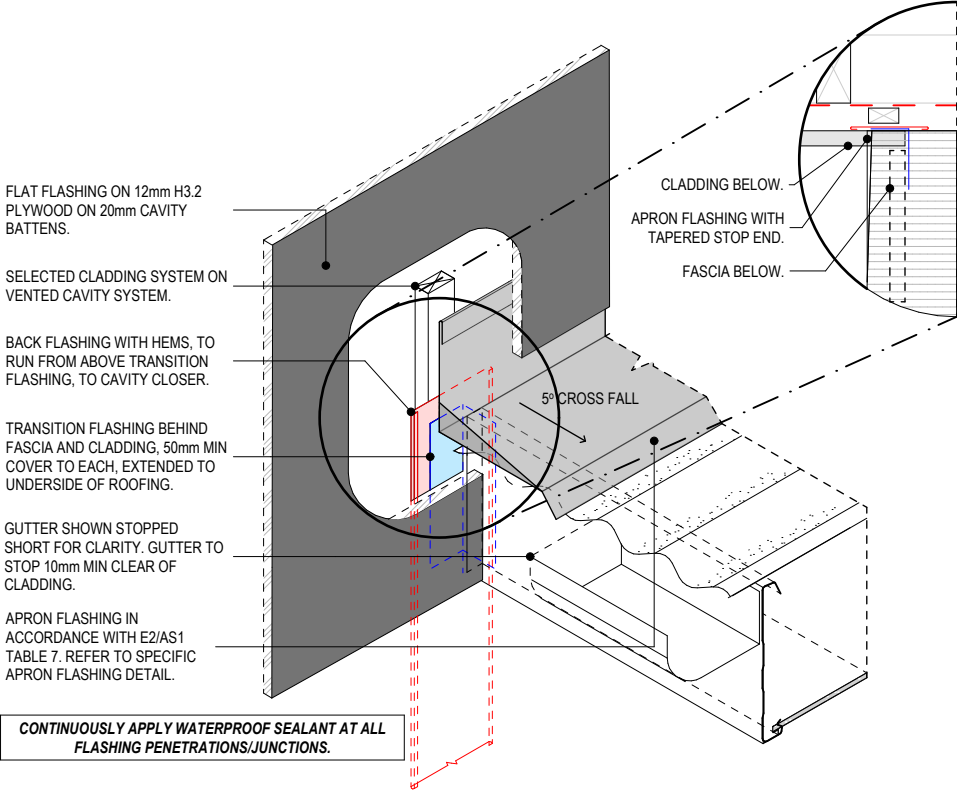
1:100



NOTE:
- HOLE POSITIONS TO AVOID JOINTS IN ROOFING.
- WHEN DP IS LOCATED IN A CORNER, SPREADER TO BE "L" SHAPED.

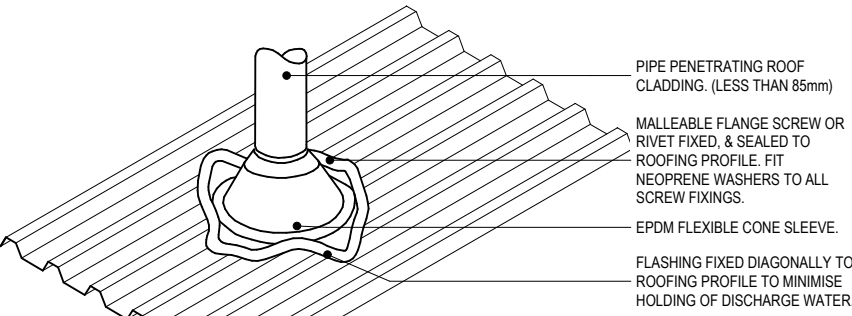
ROOF : DP SPREADER

1:10



ROOF : SPOUTING TO WALL

1:10



ROOF : 40 DEGREE ROOF PENETRATION (TYPICAL)

1:10

LOADBEARING TIMBER FRAMED WALL,
REFER TO FRAMING PLAN AND TRUSS
DESIGN FOR MORE INFO.

CONCRETE FLOOR SLAB & FOUNDATION.

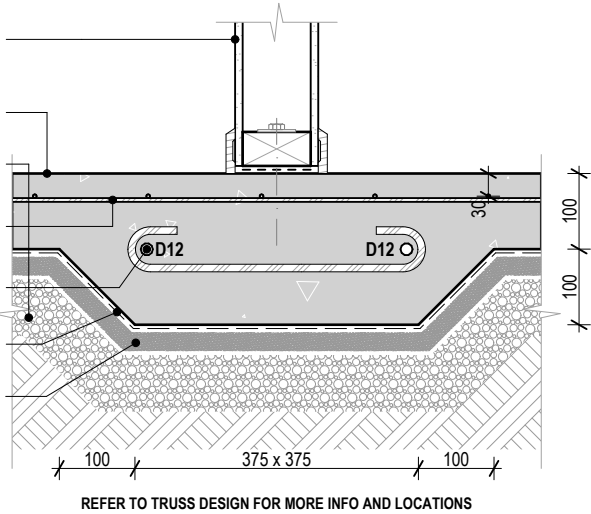
AP40 COMPACTED HARD FILL.

SELECTED APPROVED REINFORCING
MESH GRADE 500E TO TOP 1/3

2/D12 LONGITUDINAL BARS BOTH WAYS

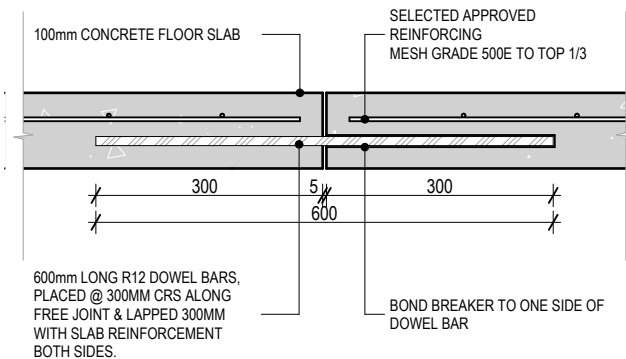
0.25MM THICK POLYTHENE DPM TO
WRAP AROUND FOOTING AS SHOWN.

25MM SANDBLINDING



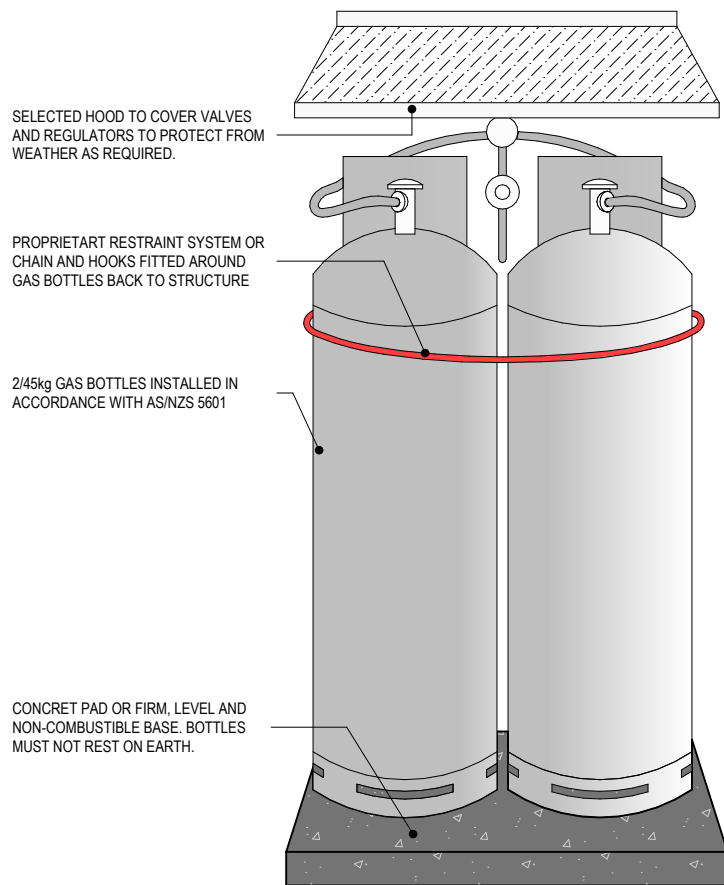
MISC : SLAB THICKENING

1:10



MISC : FREE JOINT

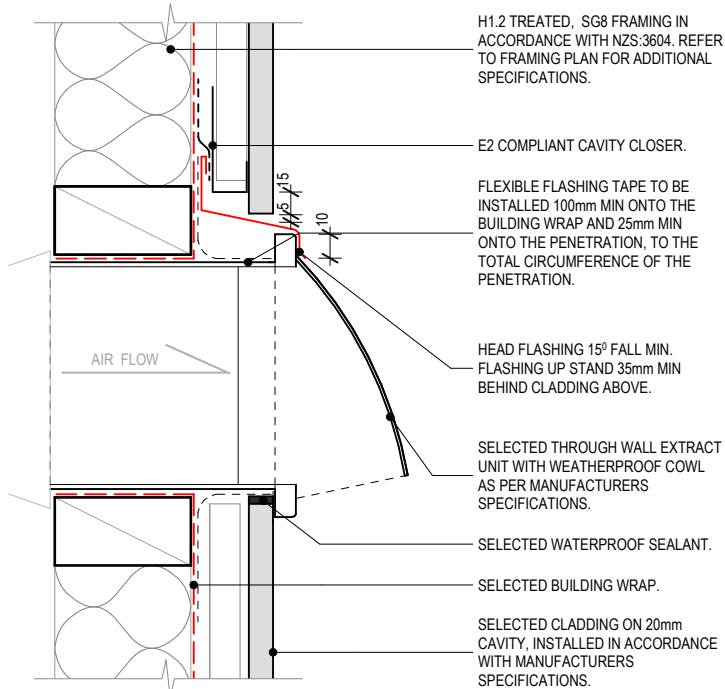
1:10



MISC : GAS BOTTLE RESTRAINT

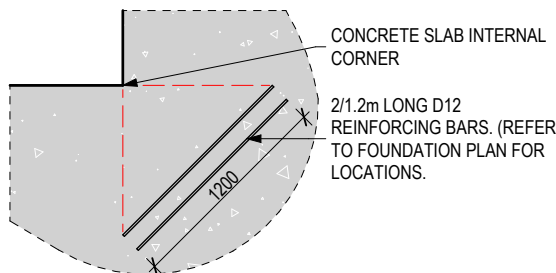
1:10

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



MISC : TYPICAL WALL EXTRACT

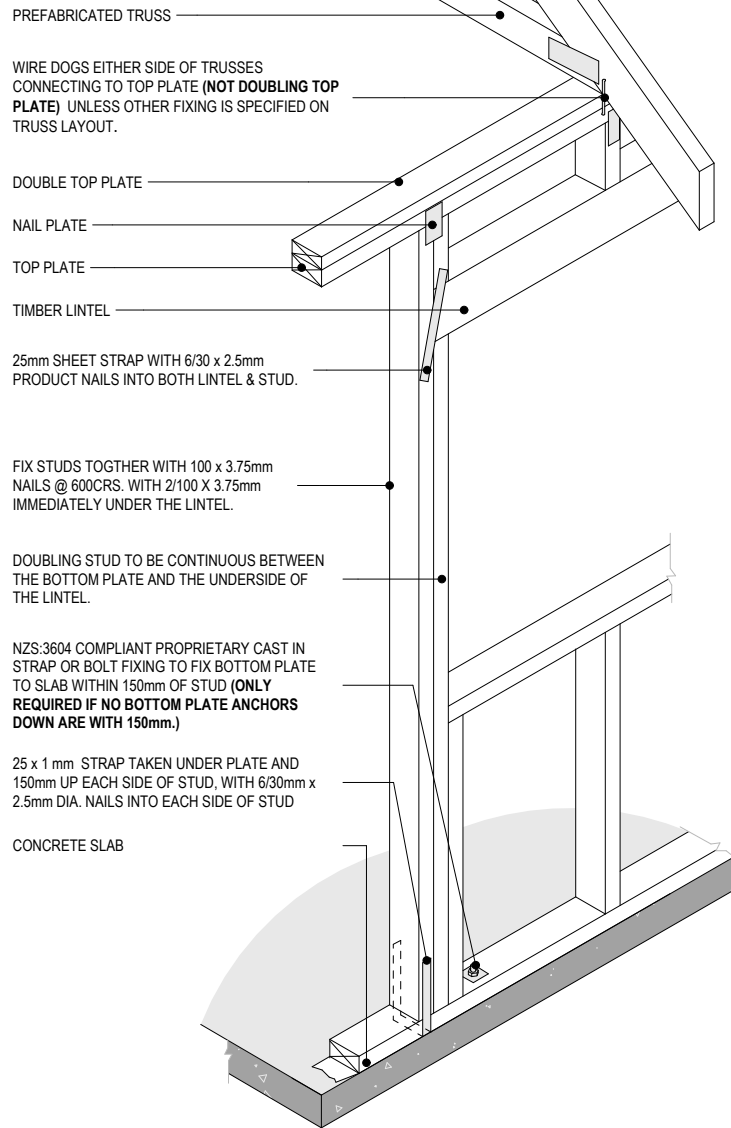
1:5



NOTE: ONLY REQUIRED WHERE A SHRINKAGE
CONTROL (SAW CUT OR PROPRIETARY CRACK
FORMER) DOESN'T MEET AN INTERNAL CORNER.
BARS TO BE BELOW THE MESH.
NO BARS TO BE LAID ACROSS A CONTROL JOINT.

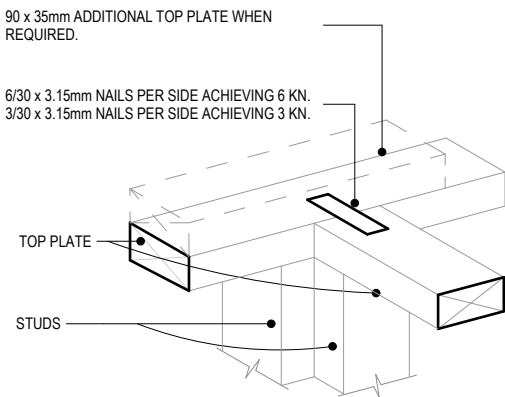
MISC : INTERNAL CORNER REINFORCING

1:20



MISC : TYPICAL LINTEL FIXING

1:20



CONNECTING TOP PLATES TO EXTERNAL WALLS - WALLS CONTAINING BRACING
NOTE: "EACH WALL THAT CONTAINS ONE OR MORE WALL BRACING ELEMENTS SHALL
BE CONNECTED @ THE TOP PLATE LEVEL, EITHER DIRECTLY, OR THROUGH A
FRAMING MEMBER IN THE LINE OF THE WALL, TO EXTERNAL WALLS @ RIGHT ANGLES
TO IT. TOP PLATE FIXING(S) OF THE CAPACITY IN TENSION OR COMPRESSION ALONG
THE LINE OF THE WALL BRACING ELEMENT ARE GIVEN AS FOLLOWS:

- (A) FOR EACH WALL CONTAINING WALL BRACING ELEMENTS WITH A TOTAL BRACING
CAPACITY OF NOT MORE THAN 125 BRACING UNITS: TO AT LEAST ONE SUCH
EXTERNAL WALL BY A FIXING AS SHOWN IN FIGURE 8.16 OF 6 kN CAPACITY;
- (B) FOR EACH WALL CONTAINING WALL BRACING ELEMENTS WITH A TOTAL BRACING
CAPACITY OF NOT MORE THAN 250 BRACING UNITS: TO AT LEAST 2 EXTERNAL
WALLS BY FIXINGS AS SHOWN IN FIGURE 8.16 EACH OF 6 kN CAPACITY;
- (C) FOR EACH WALL CONTAINING WALL BRACING ELEMENTS WITH A TOTAL BRACING
CAPACITY OF MORE THAN 250 BRACING UNITS: TO AT LEAST 2 EXTERNAL WALLS
BY FIXINGS AS SHOWN IN FIGURE 8.16 EACH HAVING A RATING OF NOT LESS
THAN 2.4 kN PER 100 BRACING UNITS."

MISC : TOP PLATE BRACING

1:10



PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
MAY BE REPRODUCED OR COPIED IN ANY FORM
WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

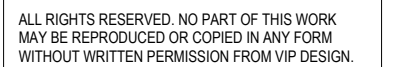
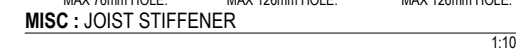
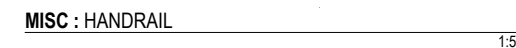
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
VERSION: 1.2D

DATE: 11.01.2020
SCALE: 1:10, 1:20, 1:5

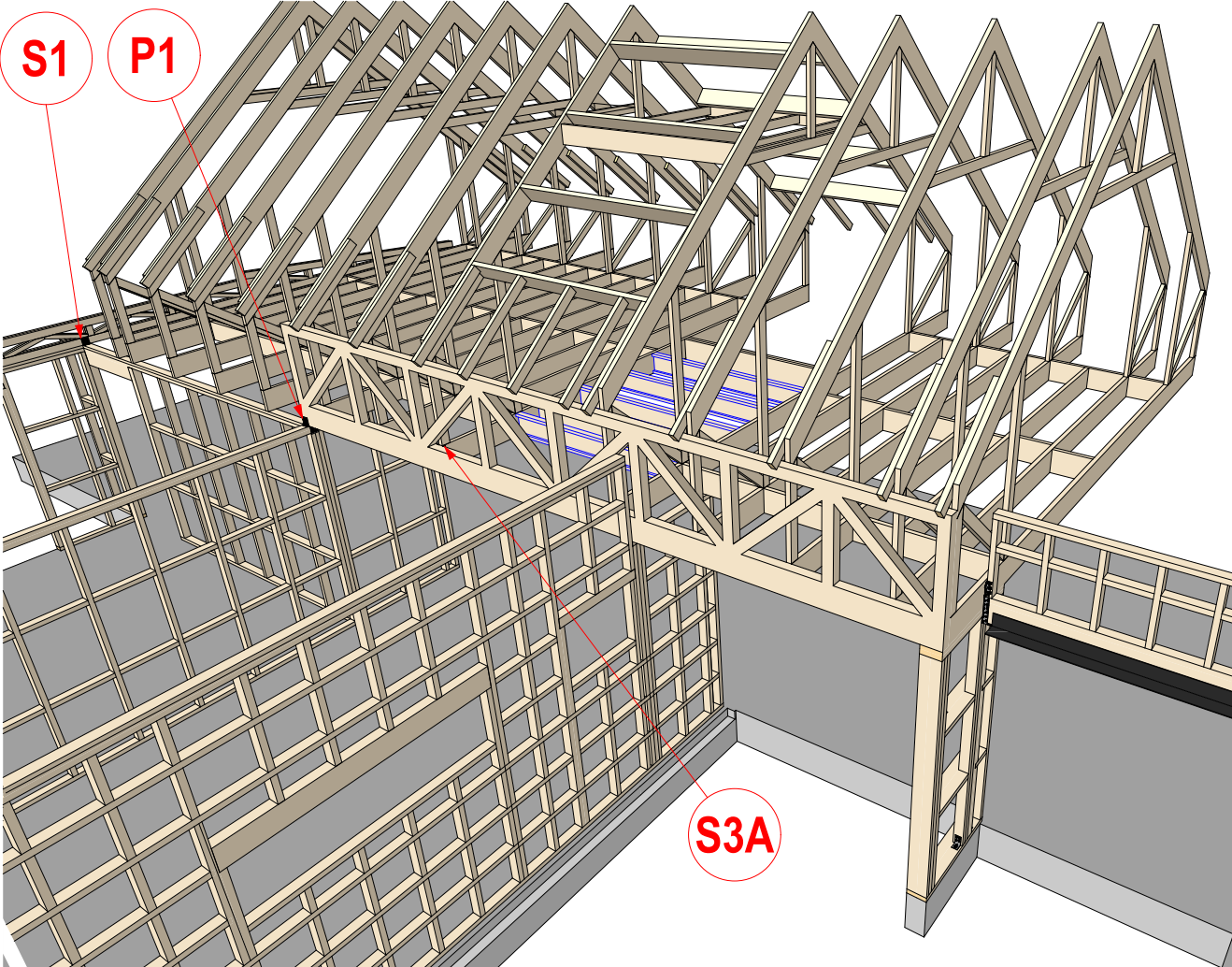
A5.09
DETAILS : MISC



A5.10

DETAILS : MISC

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC201209 12/01/2021 Michaelmo



MISC : STRUCTURAL OVERLAY

INDICITIVE ONLY, FINAL FRAMING LAYOUTS AS PER FRAME AND TRUSS AS BUILTS.

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo

SPECIFIC FIXING FOR JOINT NOT
 COVERED IN TRUSS DESIGN - S3A
 (REFER TO TRUSS DESIGN)

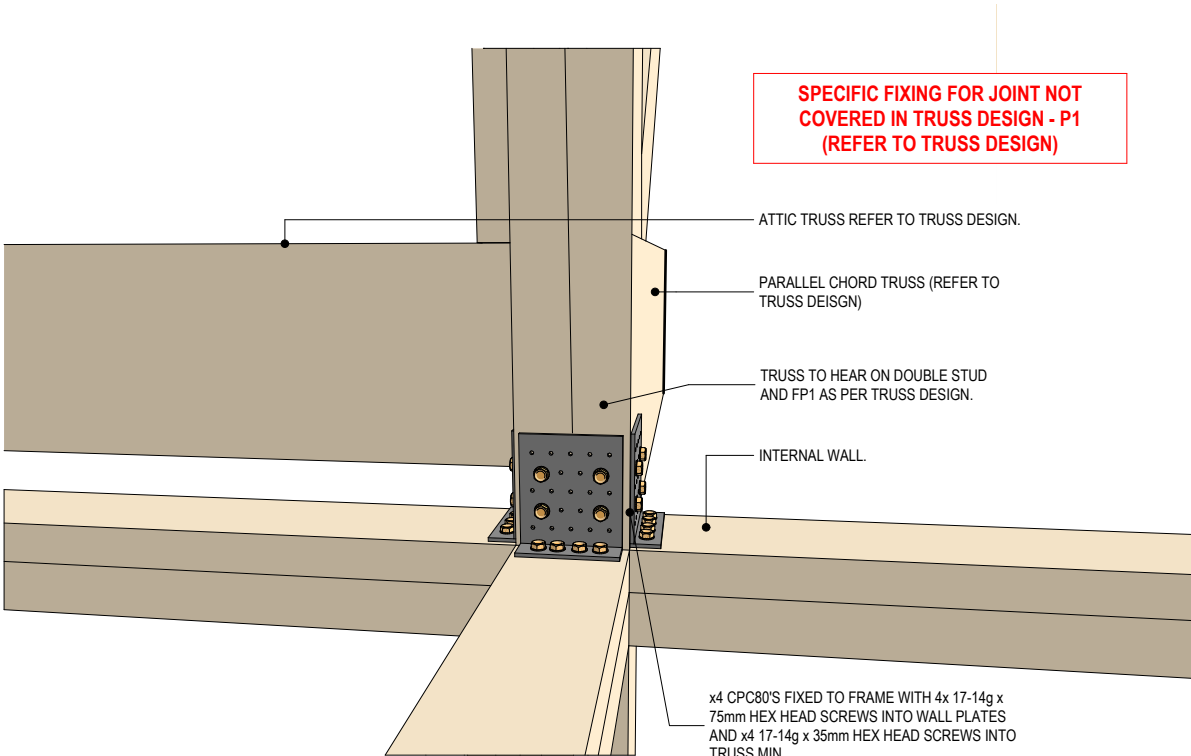
PARALLEL CHORD TRUSS (REFER TO TRUSS DEISGN)

MITEK LVL HANGERS WITH x 6 17-14g x 35mm HEX
 HEAD SCREWS PER FLANGE ON EACH SIDE.
 (36.0kN DOWN, 30kN UPLIFT FIXING)

ATTIC TRUSS REFER TO TRUSS DESIGN. (TRUSS S3A
 TO PARALLEL CHORD TRUSS)

MISC : EXTRA TRUSS FIXINGS (S3A)

1:100



SPECIFIC FIXING FOR JOINT NOT
 COVERED IN TRUSS DESIGN - P1
 (REFER TO TRUSS DESIGN)

ATTIC TRUSS REFER TO TRUSS DESIGN.

PARALLEL CHORD TRUSS (REFER TO
 TRUSS DEISGN)

TRUSS TO HEAR ON DOUBLE STUD
 AND FP1 AS PER TRUSS DESIGN.

INTERNAL WALL.

x4 CPC80'S FIXED TO FRAME WITH 4x 17-14g x
 75mm HEX HEAD SCREWS INTO WALL PLATES
 AND x4 17-14g x 35mm HEX HEAD SCREWS INTO
 TRUSS MIN.

MISC : EXTRA TRUSS FIXINGS (P1)

1:100

SPECIFIC FIXING FOR JOINT NOT
 COVERED IN TRUSS DESIGN - S1
 (REFER TO TRUSS DESIGN)

TRUSS S1 AS PER TRUSS DESIGN..

x2 CPC80'S FIXED TO FRAME WITH 4x 17-14g x 75mm HEX
 HEAD SCREWS INTO WALL PLATES AND x4 17-14g x 35mm
 HEX HEAD SCREWS INTO TRUSS MIN.

EXTERNAL WALL FRAME.

x4 SIMPSON STRONG TIE TRUSS SCREWS (OR MITEK
 ALTERNATIVE) INSTALLED EACH SIDE FROM UNDER TOP
 PLATE INTO TRUSS BOTTOM CHORD IN ACCORDANCE
 WITH MANUFACTURERS SPECIFICATIONS.

MISC : EXTRA TRUSS FIXINGS (S1)

1:100



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
 DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
 PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
 SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK
 MAY BE REPRODUCED OR COPIED IN ANY FORM
 WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

ALTERNATIVE FIXING METHODS CAN APPLY
 PROVIDED THEY MEET REQUIRED LOADS. REFER TO
 AS BUILTS FOR FINAL SPECIFIC FIXING.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
 VERSION: 1.2D

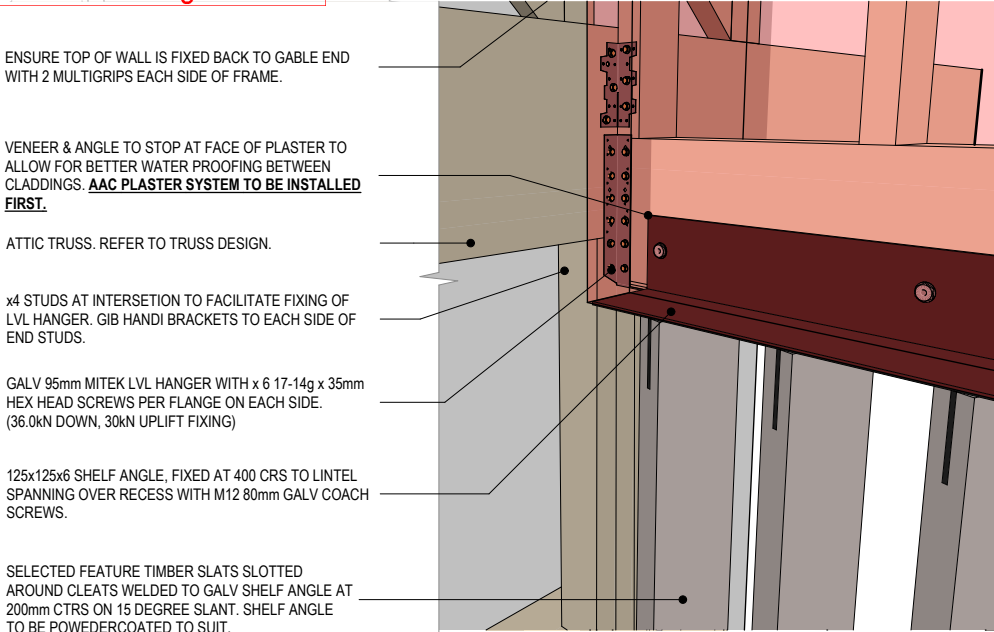
DATE: 11.01.2020
 SCALE: 1:100

A5.11
 DETAILS : MISC

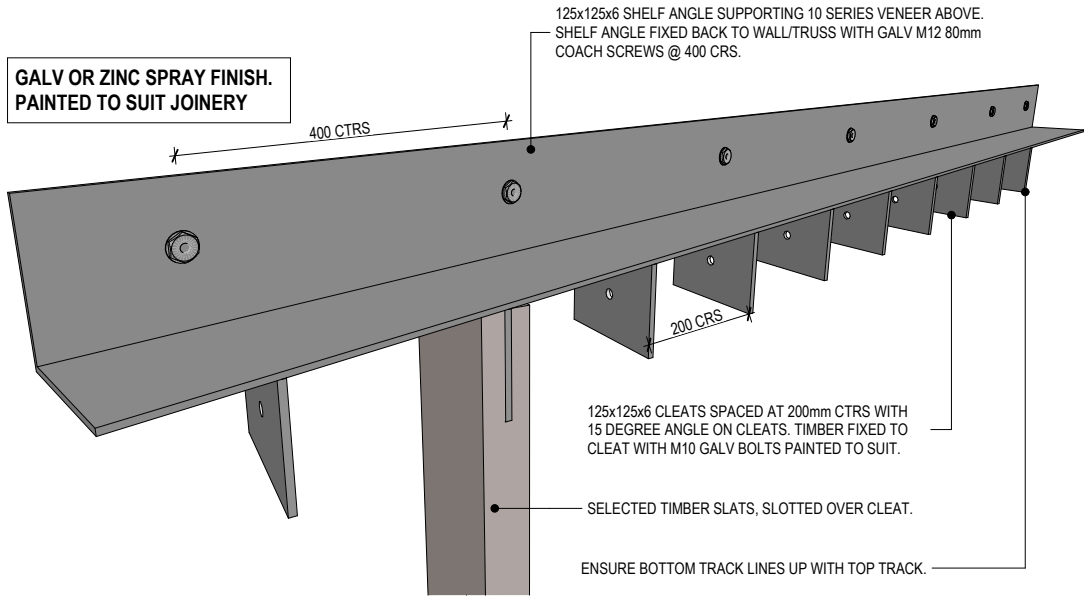


MISC : TIMBER SLAT SCREEN

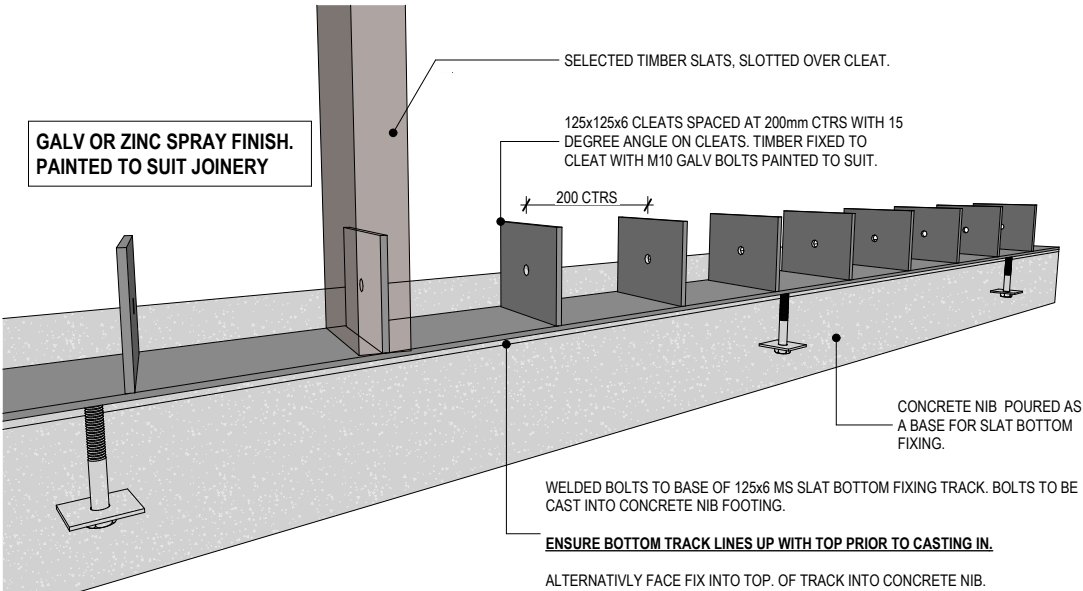
WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



D1 : SHELF ANGLE TO WALL



D2 : SLAT TOP CONNECTION



D3 : SLAT BASE CONNECTION



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
 DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
 PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
 SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK
 MAY BE REPRODUCED OR COPIED IN ANY FORM
 WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE:

A5.12
 DETAILS : MISC

BEDDING & BACK FILLING 125mm - 375mm COVER

75mm 17.5 MPa THICK CONCRETE COVER TO PIPE

 COMPACTED GRANULAR BEDDING AND SURROUND, BEDDING COMPACTED PRIOR TO LAYING PIPES.

BEDDING & BACK FILLING 375mm - 500mm COVER

FILL SHALL BE:
 ORDINARY FILL WHERE DRAINS ARE LOCATED BELOW GARDENS AND OPEN COUNTRY
 COMPACTED SELECTED FILL WHERE DRAINS ARE LOCATED BELOW RESIDENTIAL DRIVEWAYS AND SIMILAR AREAS SUBJECT TO LIGHT TRAFFIC.

 COMPACTED GRANULAR BEDDING AND SURROUND, BEDDING COMPACTED PRIOR TO LAYING PIPES.

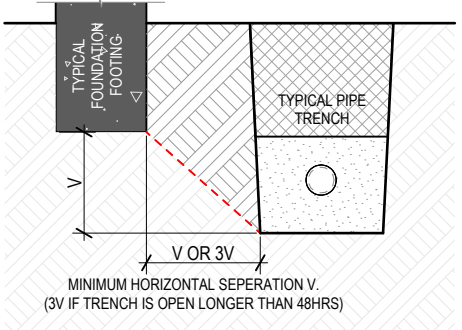
BEDDING & BACK FILLING 500mm OR MORE COVER

FILL SHALL BE:
 ORDINARY FILL WHERE DRAINS ARE LOCATED BELOW GARDENS AND OPEN COUNTRY
 COMPACTED SELECTED FILL WHERE DRAINS ARE LOCATED BELOW RESIDENTIAL DRIVEWAYS AND SIMILAR AREAS SUBJECT TO LIGHT TRAFFIC.

 COMPACTED SELECTED FILL.

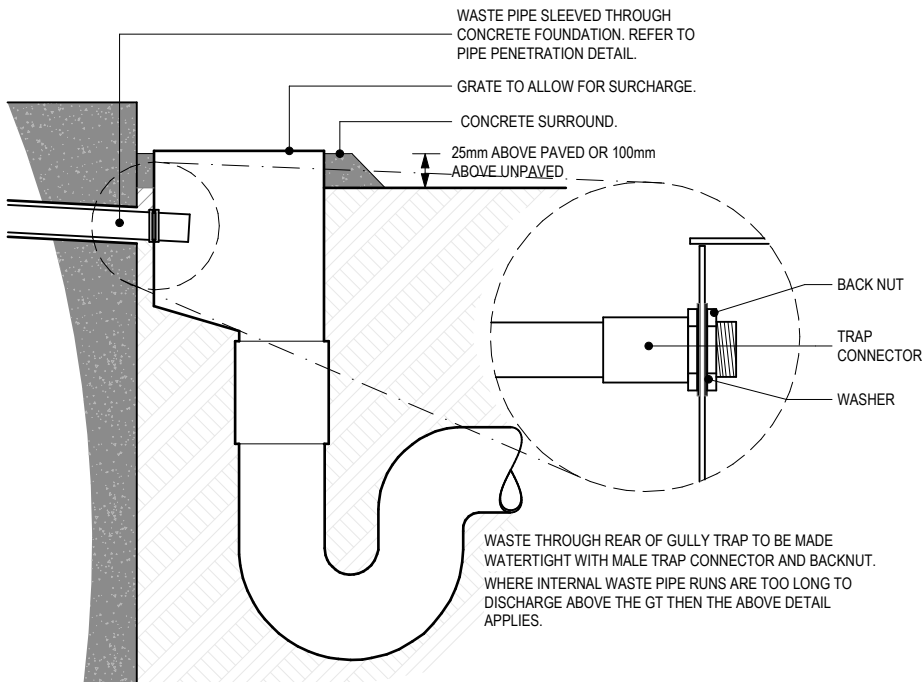
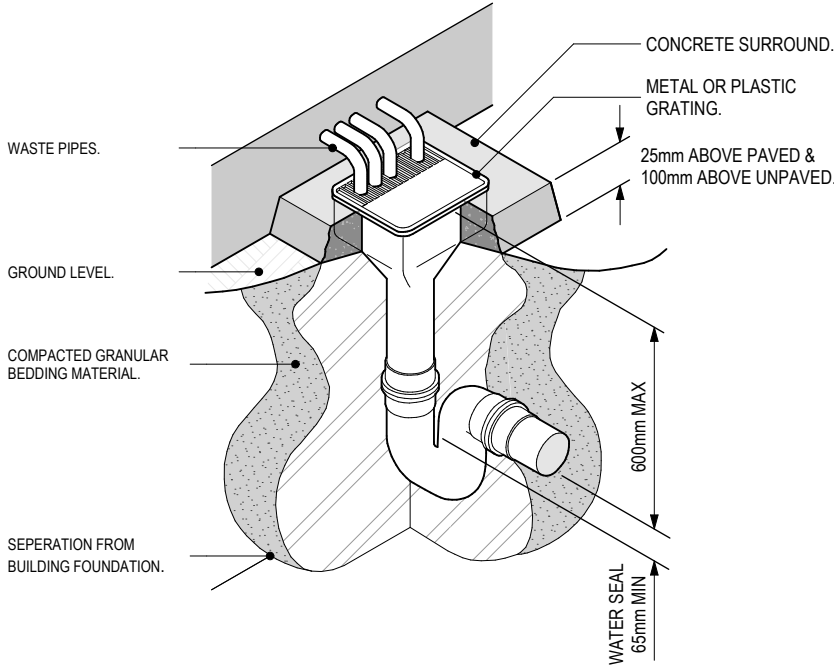
 COMPACTED GRANULAR BEDDING AND SURROUND, BEDDING COMPACTED PRIOR TO LAYING PIPES.

RELATIONSHIP OF PIPE TRENCH TO BUILDING FOUNDATION



DRAINAGE : BEDDING & BACKFILLING

1:20



DRAINAGE : GULLY TRAP

1:50

DRAIN PIPE THROUGH FOUNDATION WALL TO BE SLEEVED IN UPVC PIPE WITH HESSIAN OR SIMILAR PACKING TO FILL VOID BETWEEN.

REFER TO DRAINAGE PLANS FOR PIPE SIZES & GRADIENTS.

PIPES UNDER FLOOR SLABS TO BE WRAPPED WITH HESSIAN CLOTH OR SIMILAR TO PROTECT AGAINST DAMAGE FROM MOVEMENT.

NOTE:
 50mm MIN CLEARANCE FROM UNDERSIDE OF FLOOR SLAB. LAID STRAIGHT WITH EVEN GRADIENT ALONG LENGTH OF DRAIN.

NOTE:
 WIDTH OF TRENCH TO BE PIPE DIAMETER PLUS 200MM WITH DRAIN LOCATED CENTRALLY.

DRAINS THROUGH FOUNDATION WALL TO BE PLACED TO AVOID INTERFERENCE WITH REINFORCING STEEL LAYOUT, DRAINS NOT TO PASS THROUGH FOUNDATION WALLS @ ANY ANGLE GREATER THAN 45°

DRAIN PIPE THROUGH FOUNDATION WALL TO BE SLEEVED IN UPVC PIPE WITH HESSIAN OR SIMILAR PACKING TO FILL VOID BETWEEN.

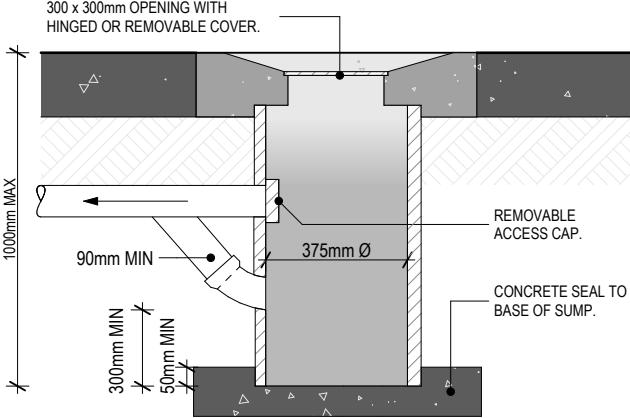
REFER TO DRAINAGE PLANS FOR PIPE SIZES & GRADIENTS.

PIPES UNDER FLOOR SLABS TO BE WRAPPED WITH HESSIAN CLOTH OR SIMILAR TO PROTECT AGAINST DAMAGE FROM MOVEMENT.

COMPACTED GRANULAR BEDDING & SURROUND, BASE BEDDING COMPACTED PRIOR TO LAYING PIPES.

DRAINAGE : SLAB PENETRATION

1:10



DRAINAGE : TYPE 1 SUMP

1:20

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
 VERSION: 1.2D

DATE: 11.01.2020
 SCALE: 1:20, 1:50, 1:10

A5.13
 DETAILS : DRAINAGE

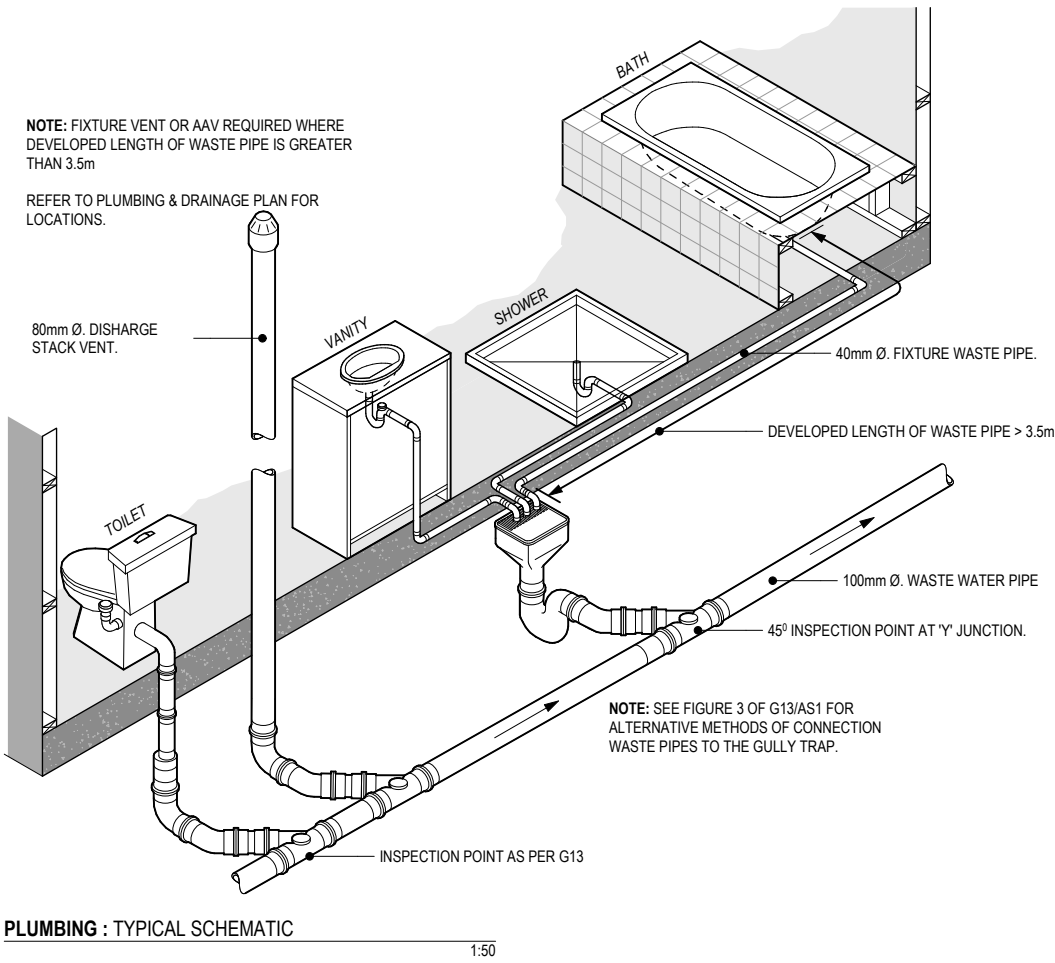
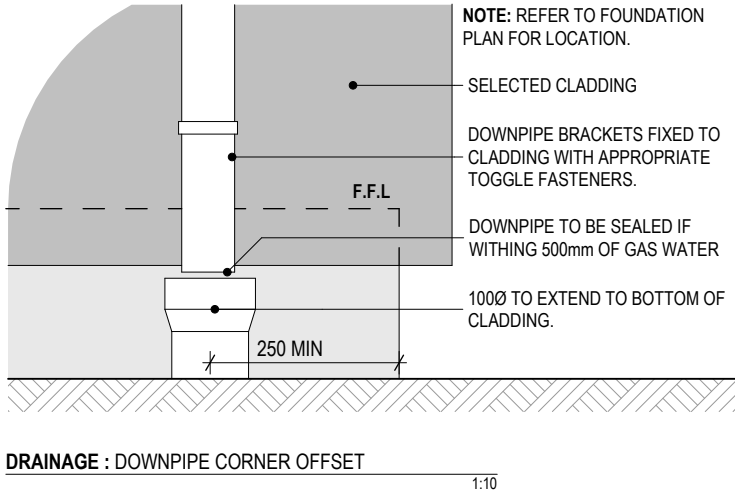
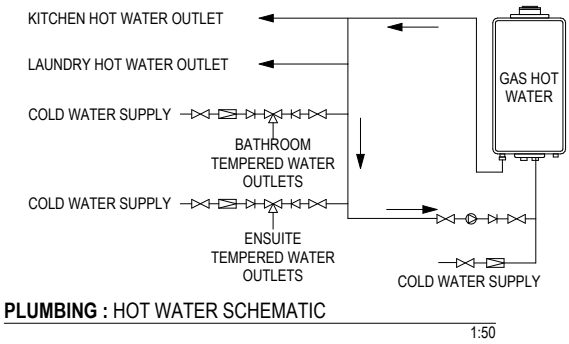


PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

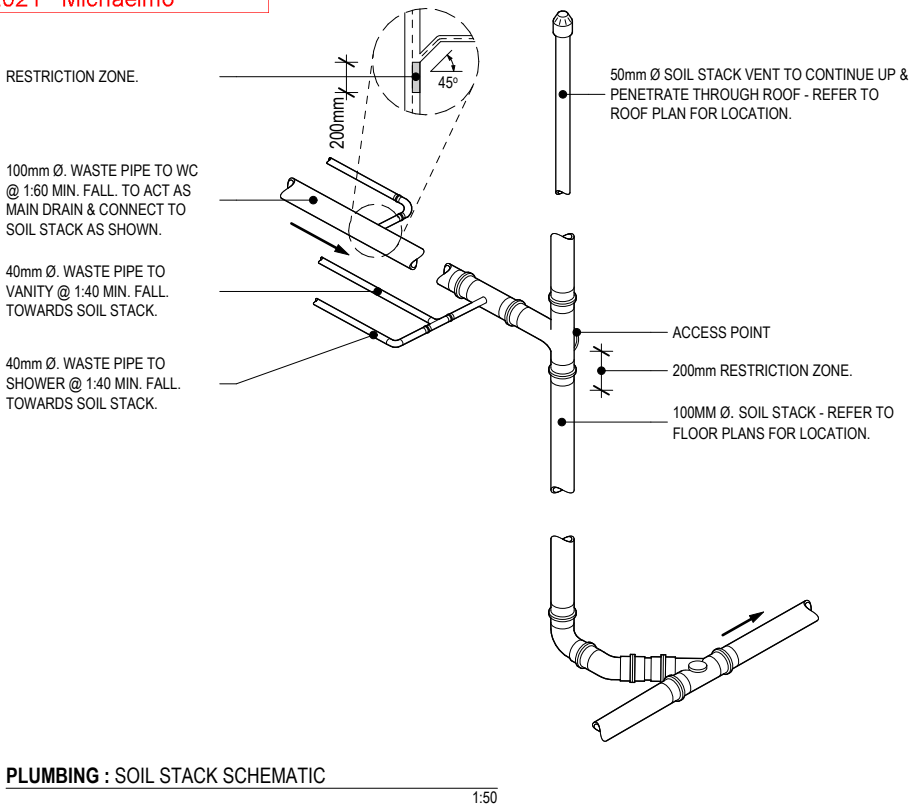
SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

 ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201209 12/01/2021 Michaelmo



PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457

4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
 VERSION: 1.2D

DATE: 11.01.2020
 SCALE: 1:10, 1:50

A5.14
 DETAILS : PLUMBING

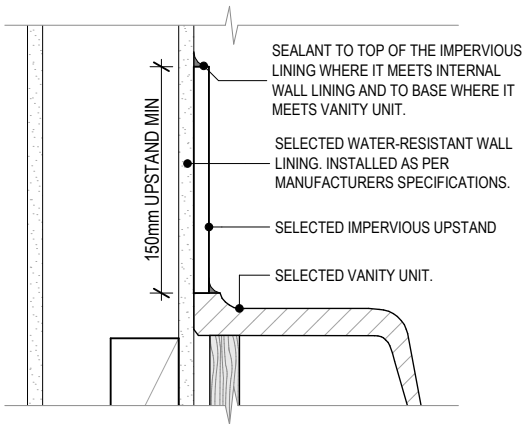


PHONE: 027 313 0880
EMAIL: admin@vipdesign.co.nz
ADDRESS: PO Box 19765, Woolston, Christchurch 8062
WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL & DEVELOPER APPROVALS.

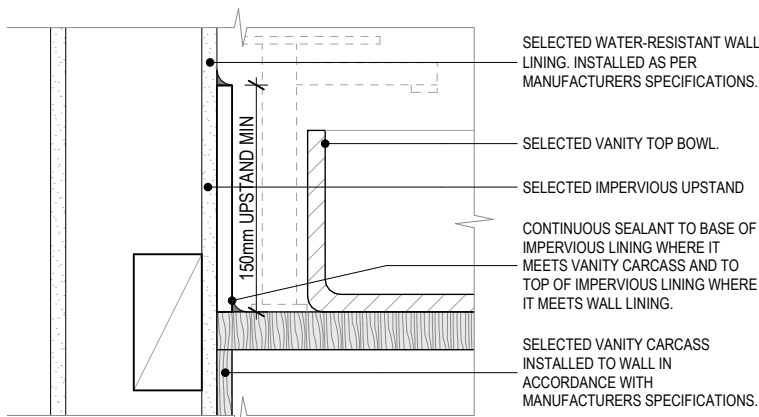
CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT SCALE OFF DRAWINGS.

ALL RIGHTS RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED OR COPIED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.



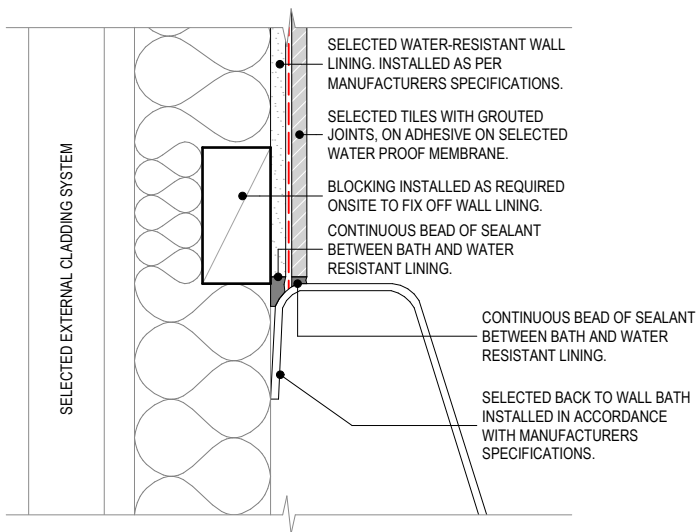
WET AREA : VANITY TO WALL

1:5



WET AREA : VANITY WITH BOWL TO WALL

1:5



WET AREA : BACK TO WALL BATH

1:5

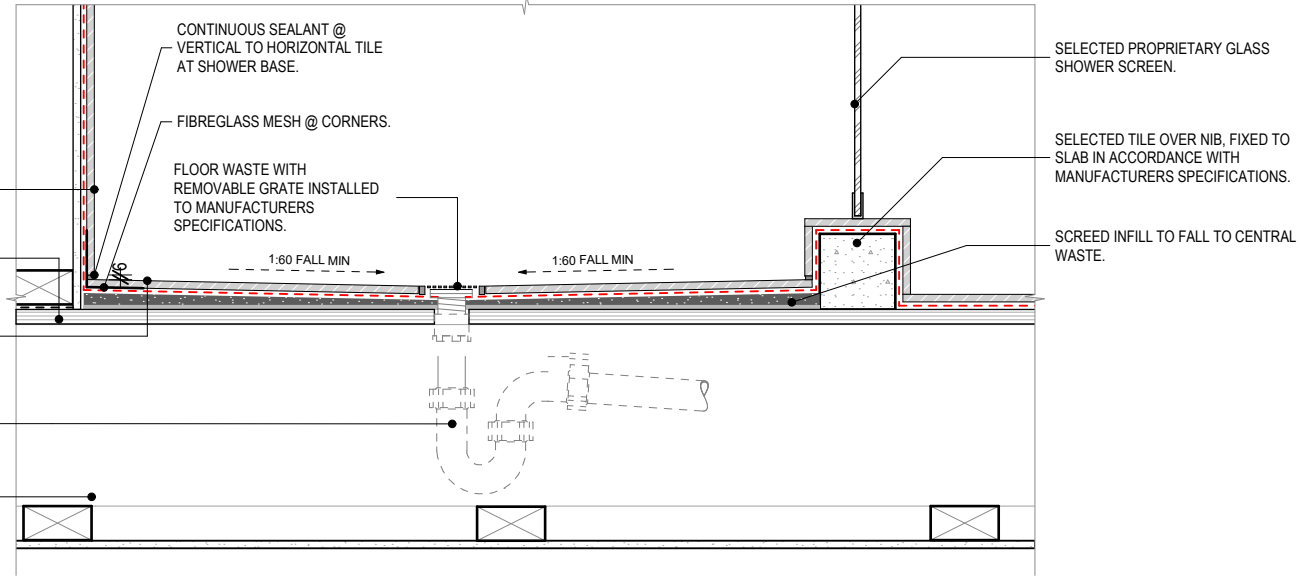
SELECTED TILES WITH GROUTED JOINTS, ON ADHESIVE ON SELECTED WATER PROOF MEMBRANE ON SELECTED WATER RESISTANT WALL LINING.

20mm H3.2 PLYWOOD FLOORING.

SELECTED FLOOR TILES ADHERED TO SELECTED WATERPROOF MEMBRANE (RUN INTO WASTE) ON SCREED TO FORM FALL ON HARDIES TILE AND SLATE UNDERLAY.

FLOOR WASTE WITH 40Ø DRAIN TO DISCHARGE 50mm ABOVE GULLY TRAP IN ACCORDANCE WITH G13.

ATTIC TRUSS BOTTOM CHORD NO HOLES PERMITTED THROUGH BOTTOM CHORD.



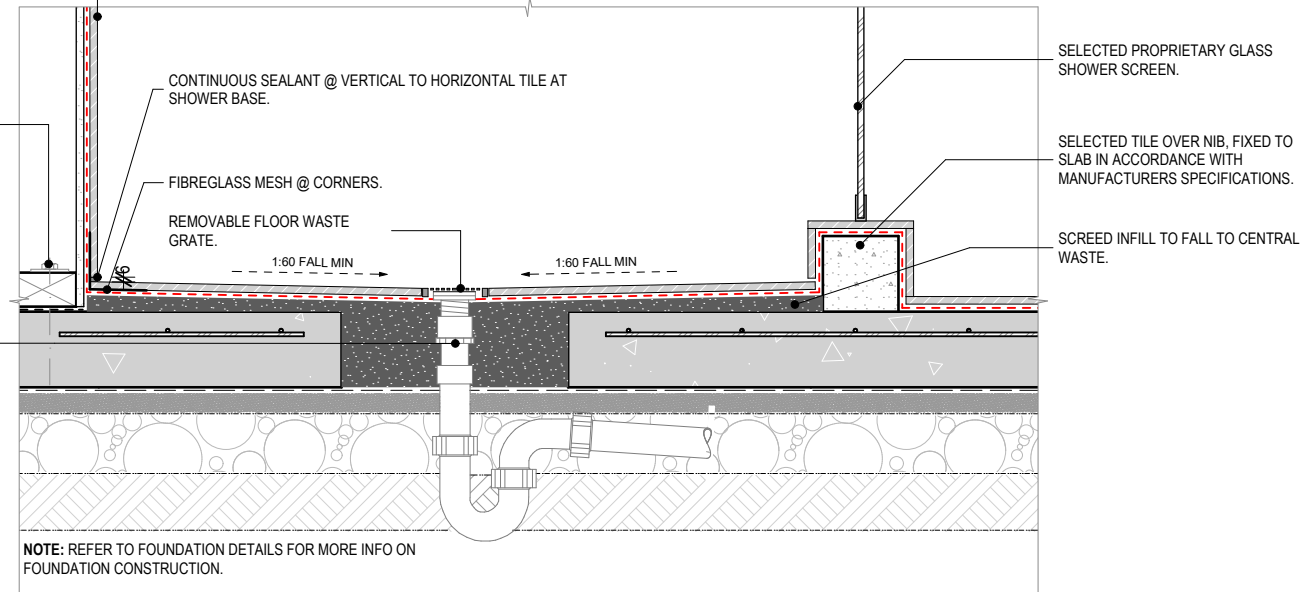
WET AREA : TILED SHOWER (TIMBER FLOOR)

1:10

SELECTED TILES WITH GROUTED JOINTS, ON ADHESIVE ON SELECTED WATER PROOF MEMBRANE ON SELECTED WATER RESISTANT WALL LINING.

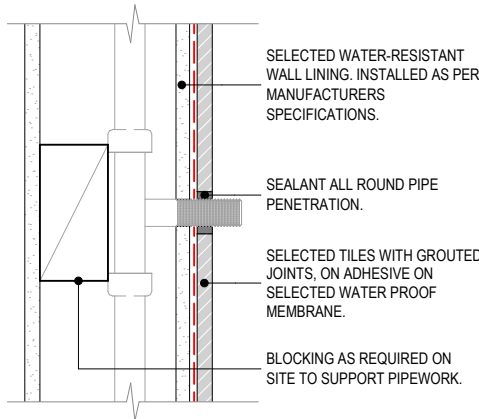
SELECTED PROPRIETARY M12 BOLTS & WASHER BOTTOM PLATE HOLD DOWNS, FIXED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS @ 900 CRS MAX IN ACCORDANCE WITH NZS.3604. REFER TO SUPPORTING DOCUMENTS FOR ADDITIONAL BRACING HOLD DOWN REQUIREMENTS.

FLOOR WASTE WITH 40Ø DRAIN TO DISCHARGE 50mm ABOVE GULLY TRAP IN ACCORDANCE WITH G13.



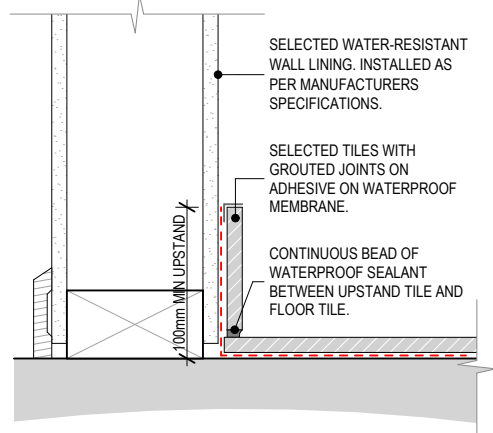
WET AREA : TILED SHOWER (CONCRETE FLOOR)

1:10



WET AREA : TILE PIPE PENETRATION

1:5



WET AREA : TILE FLOOR TO WALL

1:5

PROJECT DETAILS: JOYCE BUILT

JOB # D0088

ADDRESS:
LOT: 14 DP: 553457

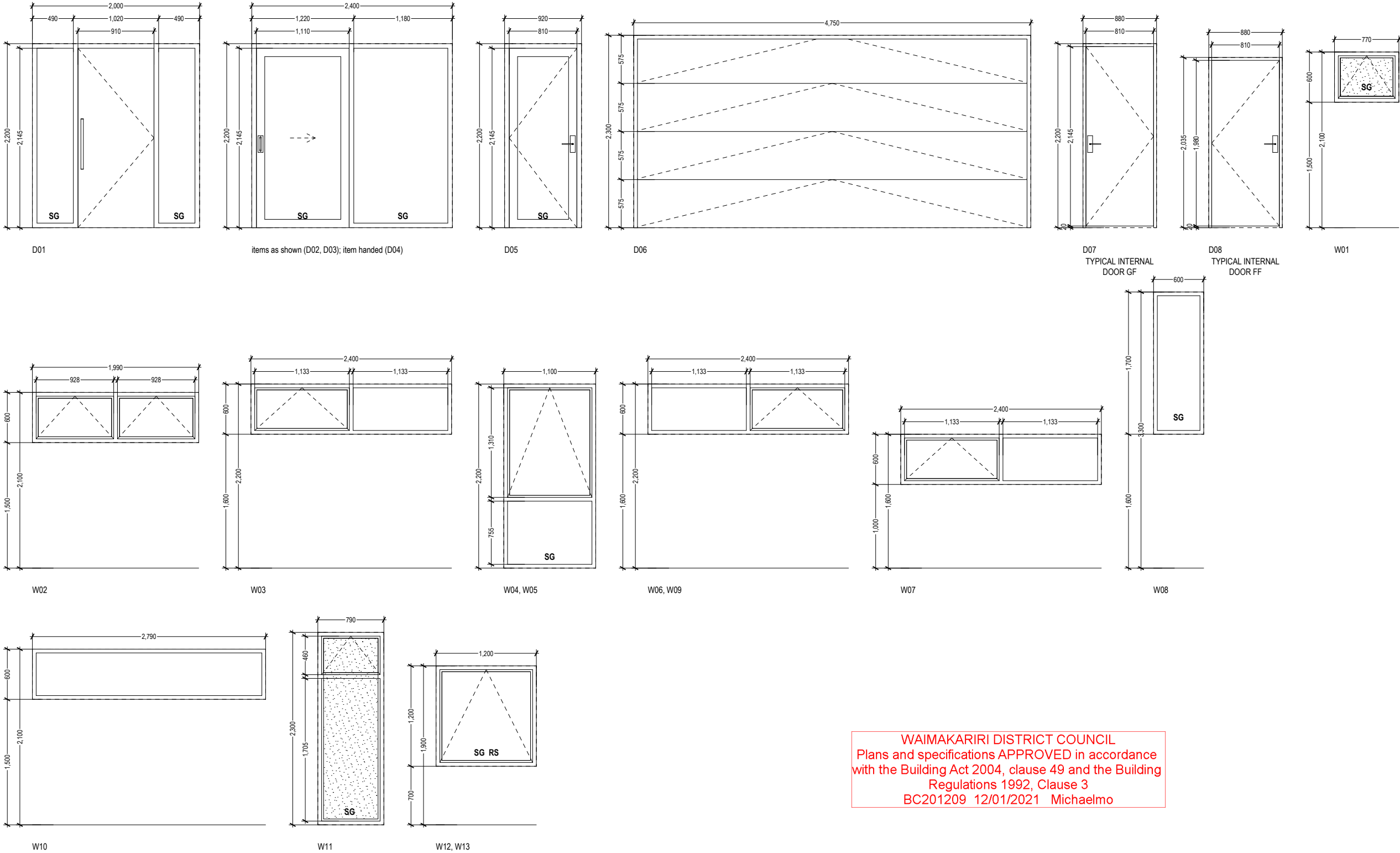
4 GOLDIE DRIVE
OAKVILLE ESTATE, STAGE 2
RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE
VERSION: 1.2D

DATE: 11.01.2020
SCALE: 1:5, 1:10

A5.15
DETAILS : WET AREA



GENERAL NOTES

INSTALLATION	:	SIZES SHOWN ARE ROUGH OPENING SIZES & LEAF SIZES CONFIRM ALL OPENING SIZES ONSITE PRIOR TO INSTALLATION REFER TO FRAMING PLAN FOR ACCURATE OPENING LOCATIONS REFER TO ELEVATIONS FOR OPENING DIRECTION
JOINERY	:	ALL EXTERIOR WINDOW AND DOORS TO BE COLORSTEEL POWDERCOATED ALUMINIUM FRAMED WITH DOUBLE GLAZING TO ALL AREAS EXCEPT FOR AN UNINSULATED GARAGE (OUTSIDE THE INSULATION ENVELOPE) DRESSED TIMBER REVEALS UNLESS NOTED OTHERWISE REFER TO SPECIFICATION FOR FULL DETAILS
INTERNAL DOOR HEIGHT	:	O/H : 2200mm, STANDARD TO FF
INTERNAL DOOR LEAF	:	REFER TO FLOOR PLAN FOR SIZES
GARAGE DOOR	:	REFER TO FLOOR PLAN
LINTELS	:	REFER TO TRUSS DESIGN

GENERAL NOTES

SAFETY GLAZING	:	GLAZING AND GLAZED OPENINGS TO COMPLY WITH NZS4223: GLAZING IN BUILDINGS PART 3: HUMAN IMPACT SAFETY REQUIREMENTS, NZS4211:2008 SPECIFICATION FOR PERFORMANCE OF WINDOWS & NEW ZEALAND BUILDING CODE CLAUSES: F2 HAZARDOUS BUILDING MATERIALS & F4: SAFETY FROM FALLING GRADE A SAFETY GLAZING TO ALL WINDOWS LESS THAN 800mm ABOVE FFL, UNLESS A TRANSOM IS LESS THAN 1.0m FROM FFL GRADE A SAFETY GLAZING TO ALL WINDOWS IN WET AREAS LESS THAN 2.0m ABOVE FFL GRADE A SAFETY GLAZING TO ALL DOORS (BOTTOM PANE ONLY WHERE A TRANSOM IS USED)
OBSCURE GLAZING	:	TO BATHROOM AND ENSUITE (SEE ELEVATIONS)
STANDARD GLAZING UNITS	:	
DOUBLE GLAZED UNITS	:	COMPLY WITH TABLE G2, NZS 4218:2004 & MEET 0.26 (MSQO C/W)
STANDARD UNITS	:	4mm GLASS - 12mm AIR GAP - 4mm GLASS
SLIDER UNITS	:	5mm GLASS - 8mm AIR GAP - 5mm GLASS
SAFETY PANELS	:	4mm TOUGHENED GLASS - 8mm AIR GAP - 6.38mm LAMINATE



PHONE: 027 313 0880
 EMAIL: admin@vipdesign.co.nz
 ADDRESS: PO Box 19765, Woolston, Christchurch 8062
 WEB: www.vipdesign.co.nz

SUBJECT TO ALL NECESSARY COUNCIL &
 DEVELOPER APPROVALS.
 CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS
 PRIOR TO COMMENCEMENT OF ANY WORK. DO NOT
 SCALE OFF DRAWINGS.
 ALL RIGHTS RESERVED. NO PART OF THIS WORK
 MAY BE REPRODUCED OR COPIED IN ANY FORM
 WITHOUT WRITTEN PERMISSION FROM VIP DESIGN.

KEY	SYMBOL
GRADE A SAFETY GLAZING	SG
OBSCURE GLAZING	
RESTRICTOR STAYS	RS

PROJECT DETAILS:
 JOYCE BUILT

JOB # D0088

ADDRESS:
 LOT: 14 DP: 553457
 4 GOLDIE DRIVE
 OAKVILLE ESTATE, STAGE 2
 RANGIORA

DRAWING DETAILS:

STAGE: CONSENT ISSUE	VERSION: 1.2D
DATE: 11.01.2020	SCALE: 1:50

A6.01
 JOINERY SCHEDULE